

LOCAL UTILITY PROVIDERS

1. REGIONAL WATER DEPT.  
90 SARGENT DRIVE  
NEW HAVEN, CT. 06511  
(203) 562-4020

2. CHESPROCOTT HEALTH DEPT.  
1247 HIGHLAND AVE  
CHESHIRE, CT 06410  
(203) 272-2761

3. EVERSOURCE ELECTRIC  
(203) 352-5412

4. EVERSOURCE GAS  
(203) 596-3071

5. SOUTHERN NEW ENGLAND TELEPHONE  
(860) 725-1010  
(860) 549-1100

6. CHESHIRE FIRE DEPARTMENT  
250 MAPLE AVE  
CHESHIRE, CT 06410  
(203) 272-1828

7. CHESHIRE POLICE DEPARTMENT  
500 HIGHLAND AVE  
CHESHIRE, CT 06410  
(203) 271-5500

8. TOWN PLANNER  
84 SOUTH MAIN STREET  
CHESHIRE, CT 06410  
(203) 271-6688

9. TOWN ENGINEER  
84 SOUTH MAIN STREET  
CHESHIRE, CT 06410  
(203) 271-6650

10. TOWN BUILDING DEPARTMENT  
84 SOUTH MAIN STREET  
CHESHIRE, CT 06410  
(203) 271-6640

11. TOWN SEWER DEPARTMENT  
84 SOUTH MAIN STREET  
CHESHIRE, CT 06410  
(203) 271-6650

STATE INFORMATION

1. CONNECTICUT HIGHWAY DEPT.  
OFFICE OF SPECIAL SERVICES & PERMITS  
1107 CROMWELL AVENUE  
ROCKY HILL, CT 06067  
(860) 258-4541

2. STATE D.E.P.  
79 ELM STREET  
HARTFORD, CT 06106  
(860) 424-3245

MISCELLANEOUS

1. CALL BEFORE YOU DIG  
(800) 922-4455

SITE CONSULTANTS

KRATZERT, JONES & ASSOC., INC.  
1755 MERIDEN-WATERBURY RD.  
P.O. BOX 337  
MILLDALE, CT 06467  
TEL. (860) 621-3638  
FAX (860) 621-9609  
EMAIL: info@kratzertjones.com  
www.kratzertjones.com



PLANS PREPARED FOR  
WHISPERING OAKS

AN AGE RESTRICTED PLANNED RESIDENTIAL  
DEVELOPMENT (43.4)



KEYMAP

NOT TO SCALE:

LIST OF DRAWINGS

|     |  |                        |
|-----|--|------------------------|
| C-1 | COVER SHEET  | AS NOTED               |
| E-1 | EXISTING CONDITIONS MAP                            | 60' SCALE              |
| E-2 | EXISTING CONDITIONS MAP                            | 40' SCALE              |
| S-1 | SITE LAYOUT & LANDSCAPING MAP                      | 40' SCALE              |
| S-2 | SITE COMMON LAND PLAN                              | 60' SCALE              |
| G-1 | GRADING & EROSION CONTROL MAP                      | 40' SCALE              |
| G-2 | WETLAND CROSSING DETAIL PLAN                       | 20' SCALE              |
| G-3 | SITE EARTHWORK COMPUTATIONS SHEET                  | 40' SCALE              |
| G-4 | SITE SOIL TESTING DATA SHEET                       | 40' SCALE              |
| P-1 | PLAN & PROFILE FOR WHISPERING OAKS DRIVE (PRIVATE) | V:4' SCALE/H:40' SCALE |
| P-2 | PLAN & PROFILE FOR WHISPERING OAKS DRIVE (PRIVATE) | V:4' SCALE/H:40' SCALE |
| P-3 | PLAN & PROFILE FOR SANITARY SEWER MAIN             | V:4' SCALE/H:40' SCALE |
| D-1 | SITE DETAILS                                       | N.T.S.                 |
| D-2 | EROSION DETAILS                                    | N.T.S.                 |
| D-3 | STORMWATER BASIN DETAIL SHEET                      | 10' SCALE              |
| D-4 | INTERSECTION GRADING PLAN                          | 10' SCALE              |
| D-5 | SIDEWALK RAMP SHEET 1                              | N.T.S.                 |
| D-6 | SIDEWALK RAMP SHEET 2                              | N.T.S.                 |
| D-7 | SIDEWALK RAMP SHEET 3                              | N.T.S.                 |
| D-8 | SIDEWALK RAMP SHEET 4                              | N.T.S.                 |
| Z-1 | CONVENTIONAL SUBDIVISION LAYOUT                    | 60' SCALE              |

TOWN OF CHESHIRE

Inland Wetlands and Watercourses Commission  
84 South Main Street  
Cheshire, Connecticut 06410  
203-271-6679 • Fax 203-271-6688



CERTIFIED MAIL  
7018164000039178257

May 20, 2021.

Mark Lovley  
c/o Lovley Development, Inc.  
710 Main Street  
Plainville, CT 06479

RE: PERMIT APPLICATION #2021-014

Dear Mr. Lovley:

At the May 18, 2021 Inland Wetlands and Watercourses Commission regular meeting, the commission approved with stipulations, the permit application of Lovley Development, Inc., 710 Main Street, Plainville, CT 06479, for a site plan property located at 648 Wallingford Road Cheshire, CT 06410, as generally shown on Assessor's Map No. 66, lot No. 13 and 14 in an R-40 zone.

It is the responsibility of all parties involved with this application to review the enclosed approval and adhere to the stipulations. All work must be completed in the sequence, manner and timeframe detailed in the approval. Any changes or modifications made to the approved plans without the prior notification to staff and/or authorization from the Cheshire Inland Wetlands and Watercourses Commission may result in the issuance of a notice of violation, cease and desist order or permit revocation. This permit is issued to the applicant and the applicant of record is ultimately responsible for the execution of this permit. Transfer of this permit from the applicant to another individual is permissible, through application to and action by the Cheshire Inland Wetlands and Watercourses Commission.

Very truly yours,

Kerrie Dunne  
Kerrie Dunne, Secretary  
CHESHIRE INLAND WETLANDS AND  
WATERCOURSES COMMISSION  
Cc: Anthony J. Fazzone, Esq., c/o Fazzone Ryan and Ricciuti, LLC.



Motion:

That the Cheshire Inland Wetlands and Watercourses Commission, having considered the factors pursuant to Section 10 of the Inland Wetlands and Watercourses Regulations of the Town of Cheshire, Commissioners' knowledge of the area, previous site visitations, and after review of written information provided by the applicant on this application, finds the following:

1. That the current application is for construction of 40 age restricted houses on a 24.87 acres, with associated grading and sewer connection.

2. That the property contains 3.58 acres of wetland soils, in the western portion of the property.

3. That the applicant's soil scientist field located inland wetlands in 2016 and were field verified in 2021.

4. That the Engineering Department has reviewed the site plan proposal and is satisfied with the applicant's design and calculations.

Based upon the foregoing findings, the Cheshire Inland Wetland and Watercourses Commission conditionally grants CWWC Permit Application #2021-014, the permit application of LOVELY DEVELOPMENT, INC. as presented on the plans entitled:

"Plans Prepared for Whispering Oaks  
An Age Restricted Planned Residential Development  
68 Wallingford Road, Cheshire CT  
11 Sheets, Scale Varies  
Dated March 24, 2021; Revised May 14, 2021  
By Kratzert and Jones, Southington, CT."

The permit is granted on the following conditions and stipulations, each of which the Commission finds to be necessary to protect the wetlands and watercourses of the State and the Town of Cheshire:

1. Any lack of compliance with any condition or stipulation of this permit shall constitute a violation of the Cheshire Inland Wetlands and Watercourses Regulations, and an enforcement order shall be both issued and recorded on the Town of Cheshire Land Records.

2. No changes or modifications may be made to the plans as presented without subsequent review and approval the Cheshire Inland Wetlands and Watercourses Commission.

3. Prior to the commencement of clearing, grading or any construction activities covered under this permit and prior to request for a Zoning Permit or Building Permit, the applicant shall provide adequate (48 hour) notification to Staff, so that Staff may verify that the following items have been completed by a qualified party:

a. The accurate staking or flagging of all clearing limits conducted by a qualified individual. Staff may insist on additional staking or flagging if warranted by field conditions.

b. The proper installation of all sediment and erosion controls indicated on the above referenced plans. Staff may insist on additional controls if warranted by field conditions.

c. The contact information with a 24-hour phone number for the individual with the responsibility and authority to receive notices of any breaches or deficiencies of sedimentation and erosion controls on-site, and to effectuate repair of any such breaches or deficiencies within six (6) hours of such notice from the sediment and erosion control inspector, or other appropriate staff of the Town of Cheshire.

d. The proper installation of non-encroachment markers along the wetland buffer as shown on the above referenced plan. Staff may insist on additional or relocation of markers if warranted by field conditions.

e. The professional engineer's certification, in writing to the Commission, that all required erosion and sedimentation controls are in place and functioning as represented by applicant to ensure the prevention of erosion and sedimentation into adjacent wetlands and watercourses. The cost of the professional engineer shall be borne by the applicant. The applicant shall also notify Commission Staff so that Staff may inspect the site to verify that all required controls are in place. Staff may also insist on additional controls if field conditions warrant them.

4. All disturbed areas on the site not directly required for construction activities shall be temporarily seeded and hayed until the site is permanently stabilized.

5. Inspection of the condition, integrity, and adequacy of the sedimentation and erosion controls in the area of houses #25, 27, 29, 31, 33 and 35 and the sewer installation area shall be made by a qualified party on a regular basis, either weekly or after every significant rainfall of 1/2" or greater, whichever is sooner, until all disturbed areas are stabilized. Said party shall be independent of the contractor. All reports shall be submitted to the contractor and Commission Staff either within three days of inspection, or prior to the next storm event, whichever is sooner. All breaches or deficiencies shall be forwarded to a contact individual, as defined below, immediately after inspection. The costs of said inspections shall be borne by the applicant.

6. Throughout the course of conducting construction activities covered by this permit grant, and per Section 112K of the Cheshire Inland Wetlands and Watercourses Regulations, the applicant shall be responsible for ensuring that all maintenance and relieving of equipment and vehicles is performed as far as practical from all wetlands and watercourses, at least 100' if possible. All oil, gasoline, and chemicals needed at the site shall be stored in secondary containment to prevent contamination of any wetlands or watercourses from possible leaks.

7. This permit grant shall expire May 18, 2026.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

|   |
|---|
| REVISION-7:                             |
| REVISION-6:                             |
| REVISION-5:                             |
| REVISION-4:                             |
| REVISION-3: 7/16/21 REVISED LAYOUT      |
| REVISION-2: 6/7/21 STAFF COMMENTS       |
| REVISION-1: 5/14/21 SAN. SEWER CROSSING |
| PROJECT: 220021-LOVLEY CHESHIRE         |
| DB: MPT      SR: DH      DR: SB         |

SEAL:

Andrew J. Quirk  
CT P.E. #22588

kratzert, jones & associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILLDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

COVER  
SHEET

for

WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = AS NOTED

DATE: MARCH 24, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO. :

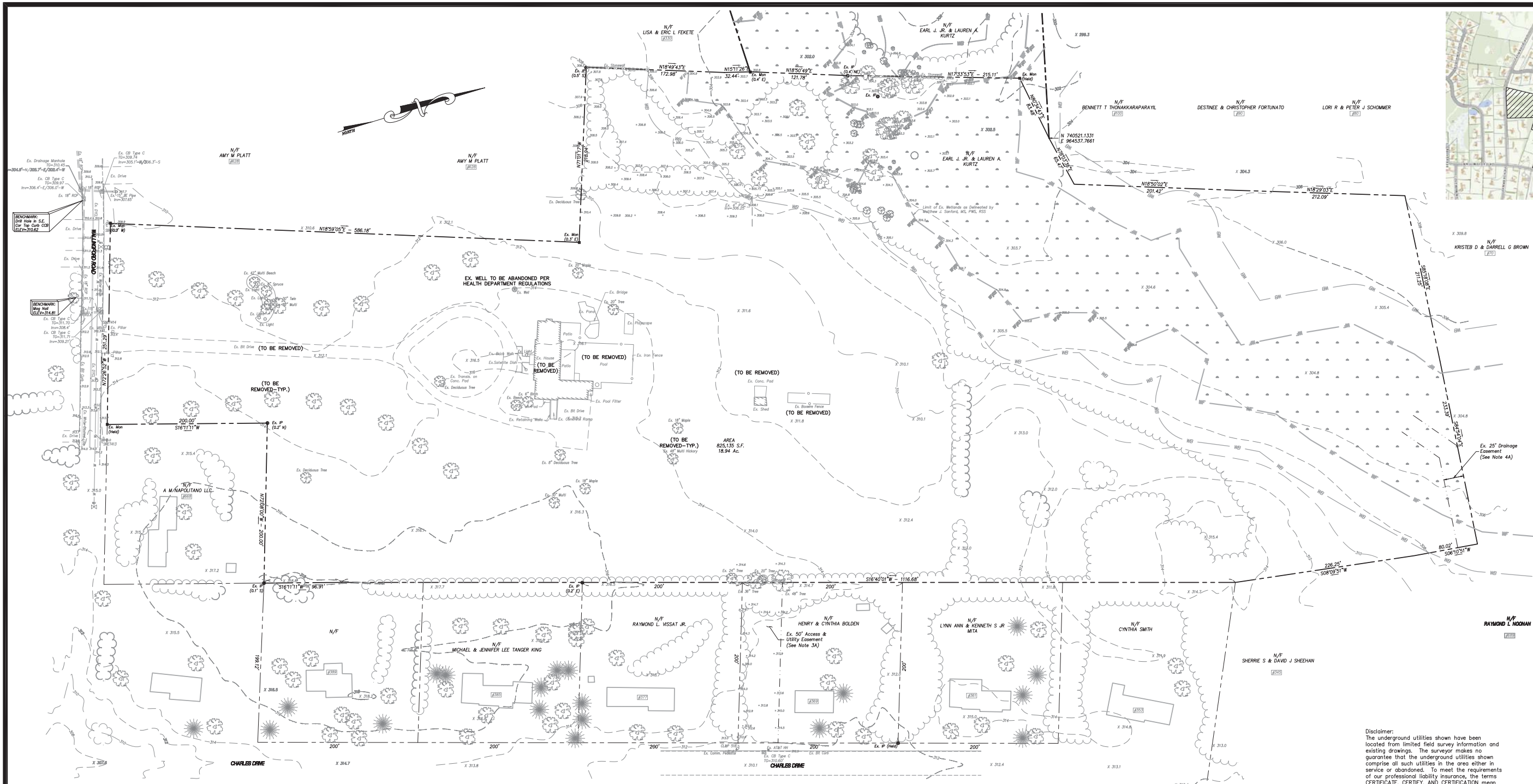
220-021

DRAWING NO. :

C-1

16:20/202001-LOVELY CHESHIRE WALLINGFORD RD.  
LAYOUT: C-1      DATE: JUN 16, 2021      3.56m





KEYMAP

NOT TO SCALE:

|                                   |  |
|-----------------------------------|--|
| REVISION-7:                       |  |
| REVISION-6:                       |  |
| REVISION-5:                       |  |
| REVISION-4:                       |  |
| REVISION-3:                       |  |
| REVISION-2:                       |  |
| REVISION-1: 6/7/21 STAFF COMMENTS |  |

|          |         |         |         |
|----------|---------|---------|---------|
| PROJECT: | DB: --- | SR: --- | DR: --- |
|----------|---------|---------|---------|

SEAL:  
SURVEY NOTES:  
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION IS BASED UPON: A RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2/T-2

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

James N. Sakonchick  
CT P.E. & L.S. #11502

kratzer, **KJA**  
jones &  
associates, inc.

CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06461-0337

PHONE: (860) 621-3638  
FAX: (860) 621-3609  
EMAIL: INFO@KRATZERJONES.COM

EXISTING  
CONDITIONS MAP  
&  
DEMOLITION PLAN

for

WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1"=60'

DATE: MARCH 24, 2021

|                    |          |          |
|--------------------|----------|----------|
| HALF               | ONE INCH | TWO INCH |
| INCHES ON ORIGINAL |          |          |

KJA FILE NO. : DRAWING NO. :

220-021 E-1

MAP REFERENCES:

1. "PROPERTY SURVEY PREPARED FOR: EARL J. KURTZ, JR. & LAUREN A. KURTZ; 648 WALLINGFORD ROAD CHESHIRE, CONNECTICUT," SCALE: 1"=60', DATED: FEBRUARY 15, 2017, PREPARED BY: MILONE & MACBROOM; PROJECT NO 1773-02 SHEET 1 OF 1.
2. "MAP SHOWING PROPERTY OF CARMELA PERROTTI LOCATED ON TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=50', DATED: OCTOBER 1957, PREPARED BY: PHILIP A. MERIAN, MAP #72D C.L.R.
3. "PROPOSED SUB-DIVISION, PROPERTY OF ERNEST DELUCCI GERHARD T. MACK, CHESHIRE, CONN.," SCALE: 1"=100', DATED: SEPTEMBER 1971, REV: NOVEMBER 1971, PREPARED BY: R. H. CHAMBERS & ASSOCIATES, MAP # 881 C.L.R.
4. "MAP SHOWING CLEARVIEW ESTATES, DEVELOPMENT OF PROPERTY OF BERTHA L. HALL, WALLINGFORD RD. & OLD WALLINGFORD RD., CHESHIRE, CONN.," SCALE: 1"=100', DATED: APRIL 19, 1965, REVISED MAY 17, 1965, PREPARED BY: CARL G. MATTISON, MAP #888 C.L.R.
5. "PROPERTY SURVEY PREPARED FOR ANNE BONMAN ET AL, TALMADGE ROAD, CHESHIRE, CONN.," SCALE: 1"=60', DATED: DECEMBER 15, 1983, PREPARED BY: FRANSEN CONSULTANTS, MAP #2291 C.L.R.
6. "MAP SHOWING RESUBDIVISION OF LOT NO. 1, CLEARVIEW ESTATES, PROPERTY OF RAVENWOOD PROPERTIES, INC. CHARLES DR. & WALLINGFORD RD, CHESHIRE, CONN.," SCALE: 1"=40', DATED: JAN. 19, 1973, REVISED: JUNE 21, 1973, PREPARED BY: CARL G. MATTISON, ASSOCIATES, MAP #876 C.L.R.
7. "MAP SHOWING PROPERTY TO BE DEEDED TO HEIDE C. PLATT & ROBERT W. THATCHER, WALLINGFORD ROAD, CHESHIRE, CONN.," SCALE: 1"=50', DATED: DEC. 11, 1985, PREPARED BY: MATTISON ASSOCIATES, MAP #3262A C.L.R.
8. "PROPERTY OF KETHI C. PLATT ET AL, WALLINGFORD ROAD, CHESHIRE, CONN.," SCALE: 1"=100', DATED: 1/14/88, PREPARED BY: CONKLIN & SOROKA, INC. MAP #2490D C.L.R.
9. "PROPERTY OF EARL J., JR. & LAUREN A. KURTZ, WALLINGFORD ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=100', DATED: 1/14/88, PREPARED BY: CONKLIN & SOROKA, INC. MAP #2706 C.L.R.
10. "COMPILATION PLAN, PARCEL 1 AND PARCEL 2, LAND OF ANNE BONMAN, ET AL, #286 TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=100', DATED: SEPTEMBER 18, 1997, PREPARED BY: JULIANI ASSOCIATES, MAP #3397 C.L.R.
11. "SUBDIVISION MAP ? CLUSTER SUBDIVISION, TALMADGE CROSSING SUBDIVISION, TALMADGE ROAD CHESHIRE, CONNECTICUT," SCALE: 1"=100', DATED" APRIL 20, 1998, REVISED TO: DECEMBER 20, 2000, PREPARED BY: MILONE & MACBROOM, INC. MAP #3580 C.L.R.
12. "RESUBDIVISION MAP, LAND OF MICHELE MORLEY, TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=40', DATED: 12/6/02, REVISED TO: 2/18/03, PREPARED BY: CONKLIN & SOROKA, INC. MAP #3701 C.L.R.
13. "PROPERTY SURVEY, DEPICTING THE DIVISION OF PROPERTY, PREPARED FOR: THE ESTATE OF ANNELESE PLATT, 628 WALLINGFORD ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=40', DATED: SEPTEMBER 16, 2015, PREPARED BY: MILONE & MACBROOM INC. MAP #4525 C.L.R.
14. "PROPERTY SURVEY, PROPERTY OF: PHILIP SUFFREDINI, TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE 1"=40', DATED: MAY 13, 2016, PREPARED BY: MILONE & MACBROOM, INC.

NOTES:

1. CURRENT ZONE: R-40
2. NORTH ARROW, BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT COORDINATE SYSTEM (NAD 1983)
3. PARCEL IS TOGETHER WITH THE FOLLOWING:  
A. EASEMENT GRANTED BY EARL J. KURTZ, JR., LAUREN A. KURTZ AND JUSTIN M. KURTZ TO EARL J. KURTZ, JR. & LAUREN A. KURTZ, DATED: APRIL 7, 2003 AND RECORDED IN VOLUME 1745 AT PAGE 50 C.L.R. AND AMENDED AND RE-ESTATED EASEMENT, DATED: OCTOBER 27, 2003 AND RECORDED IN VOLUME 1800 AT PAGE 210 C.L.R.
4. PARCEL IS SUBJECT TO THE FOLLOWING:  
A. DRAINAGE EASEMENT GRANTED BY CHRISTOPHER W. PLATT TO BERTHA L. HALL, WARREN E. HALL, ANITA H. PECK AND DONALD A. HALL, DATED: MAY 12, 1965 AND RECORDED IN VOLUME 145 AT PAGE 202 C.L.R.
5. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE. THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" DIAL 811 OR 1-800-922-4455.

GRADING NOTES:

- 1) ELEVATIONS BASED UPON MAP REFERENCE #1.
- 2) CONTOUR INTERVAL = 2'
- 3) TOPOGRAPHY IS FROM FIELD SURVEY.
- 4) THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

Disclaimer:  
The underground utilities shown have been located from limited field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. To meet the requirements of our professional liability insurance, the terms CERTIFICATE, CERTIFY, AND CERTIFICATION mean to the best information, knowledge, and belief of the engineer, and are not an unconditional certification, warranty or guarantee which are not covered under the policy.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

LEGEND

- PROPERTY LINE
- IRON PIN TO BE SET
- EXISTING IRON PIN
- MONUMENT TO BE SET
- EXISTING MONUMENT
- EXISTING SANITARY MANHOLE
- EXISTING STORM MANHOLE
- EXISTING CATCH BASIN
- EXISTING LIGHT
- EXISTING HYDRANT
- EXISTING GAS VALVE
- EXISTING WATER VALVE
- EXISTING UTILITY POLE
- EX. EDGE OF ROAD
- EX. EDGE OF ROAD (CURBED)
- EX. EDGE OF DRIVEWAY
- EX. SANITARY SEWER LINE
- EX. WATER LINE
- EX. GUIDE RAIL
- EX. CONTOUR

## NOTES:

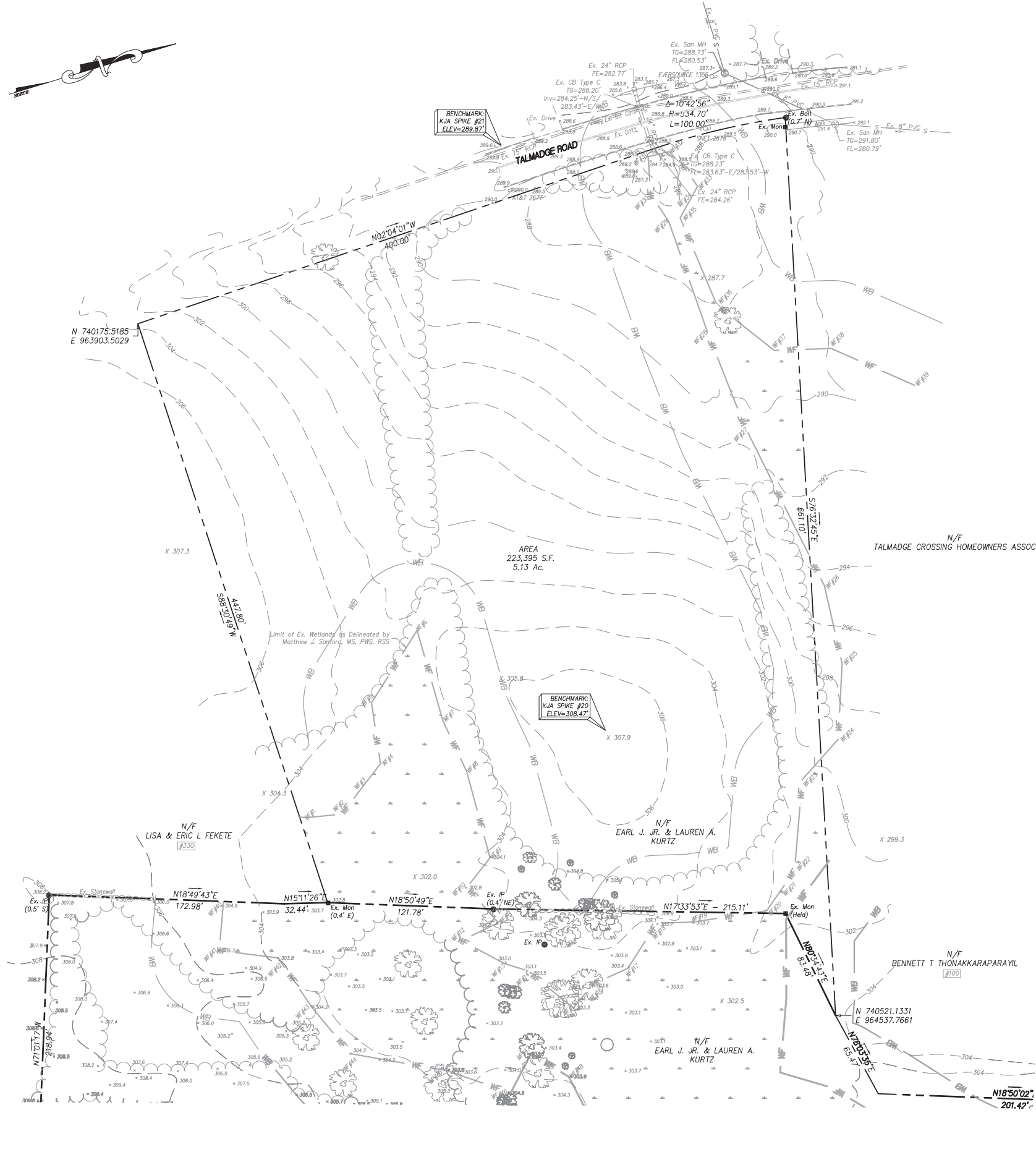
1. CURRENT ZONE: R-40
2. NORTH ARROW, BEARINGS AND COORDINATES ARE BASED UPON THE CONNECTICUT COORDINATE SYSTEM (NAD 1983)
4. PARCEL IS SUBJECT TO AND TOGETHER WITH THE FOLLOWING:  
A. RECIPROCAL DRAINAGE AND SLOPING RIGHTS ESTABLISHED IN JUDGMENT, DATED: SEPTEMBER 10, 1997 AND RECORDED IN VOLUME 1243 AT PAGE 12 C.L.R.
5. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HERON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPIN AND OTHER DATA SUPPLIED BY RESPECTIVE UTILITY COMPANIES, GOVERNMENTAL AGENCIES AND/OR OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON SITE, THE EXISTENCE, SIZE AND LOCATION OF ALL SUCH FEATURES MUST BE DETERMINED AND VERIFIED IN THE FIELD BY THE APPROPRIATE AUTHORITIES PRIOR TO BEGINNING CONSTRUCTION. CALL "CALL BEFORE YOU DIG" DIAL 811 OR 1-800-922-4455.

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- 2) CONTOUR INTERVAL = 2'
- 3) TOPOGRAPHY IS FROM FIELD SURVEY.
- 4) THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.

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1. "PROPERTY SURVEY PREPARED FOR: EARL J. KURTZ, JR. & LAUREN A. KURTZ; 648 WALLINGFORD ROAD CHESHIRE, CONNECTICUT; SCALE: 1"=60', DATED: FEBRUARY 15, 2017; PREPARED BY: MILONE & MACBROOM; PROJECT NO 1773-02 SHEET 1 OF 1.
2. "MAP SHOWING PROPERTY OF CARMELA PERROTTI LOCATED ON TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=50', DATED: OCTOBER 1957, PREPARED BY: PHILIP A. MERIAN, MAP #720 C.L.R.
3. "PROPOSED SUB-DIVISION, PROPERTY OF ERNEST DELUQ GERHARD T. MACK, CHESHIRE, CONN.," SCALE: 1"=100', DATED: SEPTEMBER 1971, REV: NOVEMBER 1971, PREPARED BY: R. H. CHAMBERS & ASSOCIATES. MAP # 881 C.L.R.
4. "MAP SHOWING CLEARVIEW ESTATES, DEVELOPMENT OF PROPERTY OF BERTHA L. HALL, WALLINGFORD RD. & OLD WALLINGFORD RD., CHESHIRE, CONN.," SCALE: 1"=100', DATED: APRIL 19, 1965, REVISED MAY 17, 1965, PREPARED BY: CARL G. MATTISON. MAP #888 C.L.R.
5. "PROPERTY SURVEY PREPARED FOR ANNE BONMAN ET AL, TALMADGE ROAD, CHESHIRE, CONN.," SCALE: 1"=60', DATED: DECEMBER 15, 1983, PREPARED BY: FRANSSEN CONSULTANTS. MAP #2281 C.L.R.
6. "MAP SHOWING RESUBDIVISION OF LOT NO. 1, CLEARVIEW ESTATES, PROPERTY OF RAVENSWOOD PROPERTIES, INC. CHARLES DR. & WALLINGFORD RD, CHESHIRE, CONN.," SCALE: 1"=40', DATED: JAN. 19, 1973, REVISED: JUNE 21, 1973, PREPARED BY: CARL G. MATTISON, ASSOCIATES. MAP #876 C.L.R.
7. "MAP SHOWING PROPERTY TO BE DEEDED TO HEIDE C. PLATT & ROBERT W. THATCHER, WALLINGFORD ROAD, CHESHIRE, CONN.," SCALE: 1"=50', DATED: DEC. 11, 1985, PREPARED BY: MATTISON ASSOCIATES. MAP #2362A C.L.R.
8. "PROPERTY OF KEITH C. PLATT ET AL, WALLINGFORD ROAD, CHESHIRE, CONN.," SCALE: 1"=100', DATED: 1/14/88, PREPARED BY: CONKLIN & SOROKA, INC. MAP #2490D C.L.R.
9. "PROPERTY OF EARL J., JR. & LAUREN A. KURTZ, WALLINGFORD ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=100', DATED: 1/14/88, PREPARED BY: CONKLIN & SOROKA, INC. MAP #2706 C.L.R.
10. "COMPIATION PLAN, PARCEL 1 AND PARCEL 2, LAND OF ANNE BONMAN, ET AL, #286 TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE 1"=100', DATED: SEPTEMBER 18, 1997, PREPARED BY: JULIANI ASSOCIATES . MAP #3397 C.L.R.
11. "SUBDIVISION MAP ? CLUSTER SUBDIVISION, TALMIDGE CROSSING SUBDIVISION, TALMIDGE ROAD CHESHIRE, CONNECTICUT," SCALE: 1"=100', DATED" APRIL 20, 1998, REVISED TO: DECEMBER 20, 2000, PREPARED BY: MILONE & MACBROOM, INC. MAP #3580 C.L.R.
12. "RESUBDIVISION MAP, LAND OF MICHELE MORLEY, TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=40', DATED: 12/6/02, REVISED TO: 2/18/03, PREPARED BY: CONKLIN & SOROKA, INC. MAP #3701 C.L.R.
13. "PROPERTY SURVEY, DEPICTING THE DIVISION OF PROPERTY, PREPARED FOR: THE ESTATE OF ANNELESE PLATT, 628 WALLINGFORD ROAD, CHESHIRE, CONNECTICUT," SCALE: 1"=40', DATED: SEPTEMBER 16, 2015, PREPARED BY: MILONE & MACBROOM INC. MAP #4525 C.L.R.
14. "PROPERTY SURVEY, PROPERTY OF: PHILIP SUFFREDINI, TALMADGE ROAD, CHESHIRE, CONNECTICUT," SCALE 1"=40', DATED: MAY 13, 2016, PREPARED BY: MILONE & MACBROOM, INC.



| LEGEND |                           |
|--------|---------------------------|
| ---    | PROPERTY LINE             |
| ●      | IRON PIN TO BE SET        |
| ○      | EXISTING IRON PIN         |
| ■      | MONUMENT TO BE SET        |
| □      | EXISTING MONUMENT         |
| ○      | EXISTING SANITARY MANHOLE |
| ○      | EXISTING STORM MANHOLE    |
| ○      | EXISTING CATCH BASIN      |
| ○      | EXISTING LIGHT            |
| ○      | EXISTING HYDRANT          |
| ○      | EXISTING GAS VALVE        |
| ○      | EXISTING WATER VALVE      |
| ○      | EXISTING UTILITY POLE     |
| ---    | EX. EDGE OF ROAD          |
| ---    | EX. EDGE OF ROAD (CURBED) |
| ---    | EX. EDGE OF DRIVEWAY      |
| ---    | EX. SANITARY SEWER LINE   |
| ---    | EX. WATER LINE            |
| ---    | EX. GUIDE RAIL            |
| ---    | EX. CONTOUR               |

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|             |                       |
|-------------|-----------------------|
| REVISION-7: |                       |
| REVISION-6: |                       |
| REVISION-5: |                       |
| REVISION-4: |                       |
| REVISION-3: |                       |
| REVISION-2: |                       |
| REVISION-1: | 6/7/21 STAFF COMMENTS |

|          |         |         |         |
|----------|---------|---------|---------|
| PROJECT: | DB: --- | SR: --- | DR: --- |
| SEAL:    |         |         |         |

SURVEY NOTES:  
THIS MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE "MINIMUM STANDARDS OF ACCURACY, CONTENT AND CERTIFICATION FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS REVISED 2018-10-26 FOR USE BY THE REGULATIONS OF CONNECTICUT STATE AGENCIES. (CT SECTIONS 20-300b-1 TO 20-300b-20).

THE TYPE OF SURVEY PERFORMED IS AN: IMPROVEMENT LOCATION SURVEY.

BOUNDARY DETERMINATION IS BASED UPON: A RESURVEY.

THIS SURVEY CONFORMS TO A: CLASS A-2/T-2

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

*James N. Sakonchick*  
James N. Sakonchick  
CT P.E. & L.S. #11502

**kratzer, KJA jones & associates, inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

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PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

EXISTING  
CONDITIONS  
MAP

for

WHISPERING OAKS

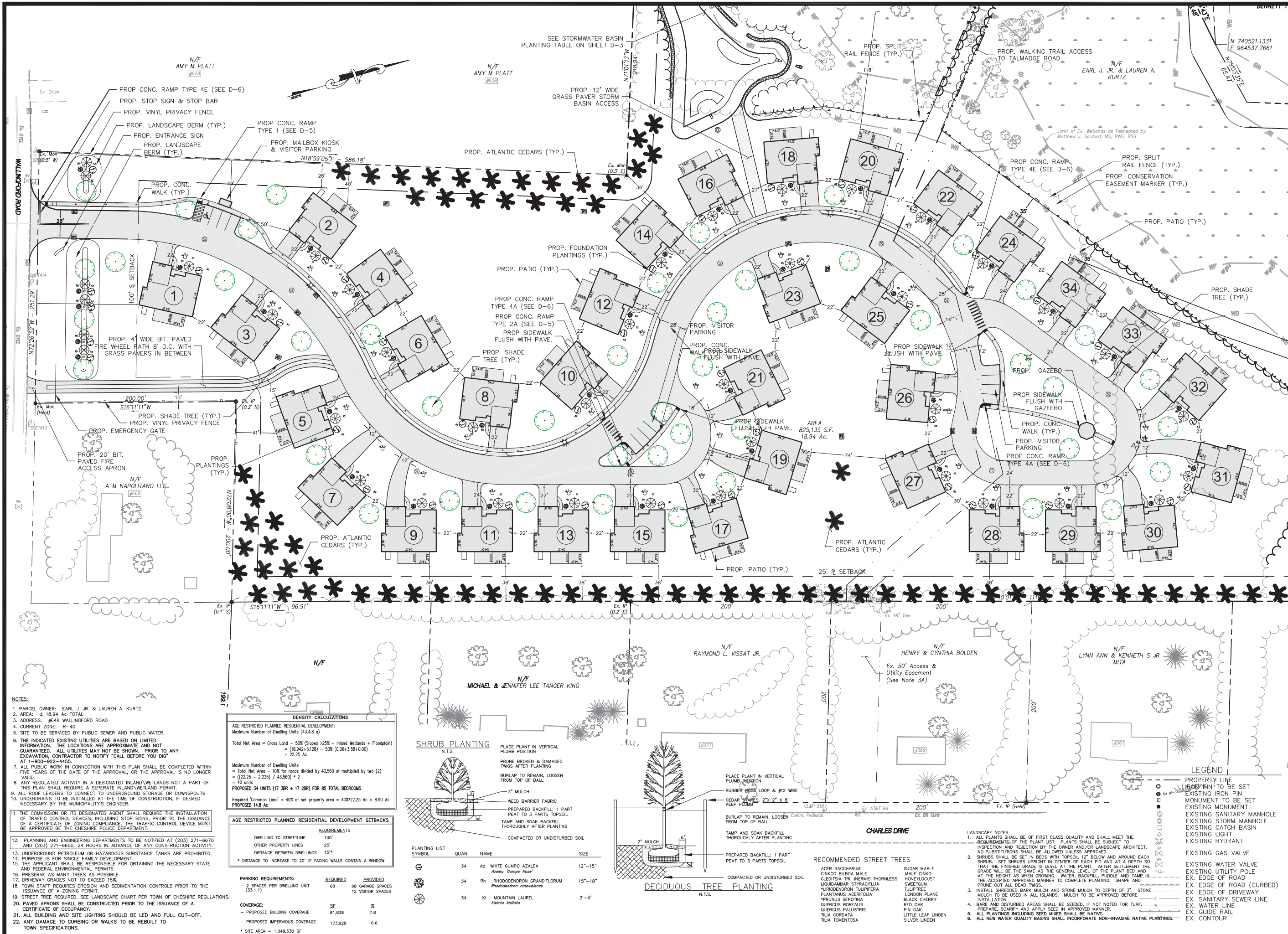
TALMADGE ROAD  
CHESHIRE, CT

SCALE: 1"=40'  
DATE: MARCH 20, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.: 220-021  
DRAWING NO.: E-2





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|-------------|-----------------------------|--------|
| REVISION-7: |                             |        |
| REVISION-6: |                             |        |
| REVISION-5: |                             |        |
| REVISION-4: | 7/16/21 REVISED LAYOUT      |        |
| REVISION-3: | 06-30-21 REDUCED URA IMPACT |        |
| REVISION-2: | 6/7/21 STAFF COMMENTS       |        |
| REVISION-1: | 5/14/21 SAN. SEWER CROSSING |        |
| PROJECT:    | 220021-LOVELY CHESHIRE      |        |
| DR: AQ      | SR: ---                     | DR: AQ |

Seal of Andrew J. Quirk, CT P.E. #22588

**kratzer, jones & associates, inc.**  
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# SITE LAYOUT AND LANDSCAPING MAP

for  
**WHISPERING OAKS**

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'  
DATE: MARCH 24, 2021  
KJA FILE NO.: 220-021  
DRAWING NO.: S-1

- NOTES:
1. PARCEL OWNER: EARL J. JR. & LAUREN A. KURTZ
  2. AREA: ± 18.94 Ac TOTAL
  3. ADDRESS: #648 WALLINGFORD ROAD
  4. CURRENT ZONE: R-40
  5. SITE TO BE SERVICED BY PUBLIC SEWER AND PUBLIC WATER.
  6. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
  7. ALL PUBLIC WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF THE APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
  8. ANY REGULATED ACTIVITY IN A DESIGNATED INLAND WETLANDS NOT A PART OF THIS PLAN SHALL REQUIRE A SEPARATE INLAND WETLAND PERMIT.
  9. ALL ROOF LEADERS TO CONNECT TO UNDERGROUND STORAGE OR DOWNSPOUTS
  10. UNDERDRAINS TO BE INSTALLED AT THE TIME OF CONSTRUCTION, IF DEEMED NECESSARY BY THE MUNICIPALITY'S ENGINEER.
  11. THE COMMISSION OR ITS DESIGNATED AGENT SHALL REQUIRE THE INSTALLATION OF TRAFFIC CONTROL DEVICES, INCLUDING STOP SIGNS, PRIOR TO THE ISSUANCE OF A CERTIFICATE OF ZONING COMPLIANCE. THE TRAFFIC CONTROL DEVICE MUST BE APPROVED BY THE CHESHIRE POLICE DEPARTMENT.
  12. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED AT (203) 271-6670 AND (203) 271-6650, 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
  13. UNDERGROUND PETROLEUM OR HAZARDOUS SUBSTANCE TANKS ARE PROHIBITED.
  14. PURPOSE IS FOR SINGLE FAMILY DEVELOPMENT.
  15. THE APPLICANT SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY STATE AND FEDERAL ENVIRONMENTAL PERMITS.
  16. PRESERVE AS MANY TREES AS POSSIBLE.
  17. DRIVEWAY GRADES NOT TO EXCEED 15%.
  18. TOWN STAFF REQUIRES EROSION AND SEDIMENTATION CONTROLS PRIOR TO THE ISSUANCE OF A ZONING PERMIT.
  19. STREET TREE REQUIRED. SEE LANDSCAPE CHART PER TOWN OF CHESHIRE REGULATIONS.
  20. PAVED APRONS SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
  21. ALL BUILDING AND SITE LIGHTING SHOULD BE LED AND FULL CUT-OFF.
  22. ANY DAMAGE TO CURBING OR WALKS TO BE REBUILT TO TOWN SPECIFICATIONS.

| DENSITY CALCULATIONS   |          |                                       |  |
|--|----------|---------------------------------------|--|
| AGE RESTRICTED PLANNED RESIDENTIAL DEVELOPMENT:  |          |                                       |  |
| Maximum Number of Dwelling Units (43,4.8 u)  |          |                                       |  |
| Total Net Area = Gross Land - 50% (Slopes >25% + Inland Wetlands + Floodplain) = (18,942+5,128) - 50% (0.06+3.58+0.00) = 22.25 Ac                        |          |                                       |  |
| Maximum Number of Dwelling Units = Total Net Area - 10% for roads divided by 43,560 sf multiplied by two (2) = ((22.25 - 2.225) / 43,560) * 2 = 40 units |          |                                       |  |
| PROPOSED 34 UNITS (17 3BR + 17 2BR) FOR 85 TOTAL BEDROOMS  |          |                                       |  |
| Required "Common Land" = 40% of net property area = 40%*22.25 Ac = 8.90 Ac PROPOSED 14.8 Ac  |          |                                       |  |
| AGE RESTRICTED PLANNED RESIDENTIAL DEVELOPMENT SETBACKS  |          |                                       |  |
| REQUIREMENTS   |          |                                       |  |
| DWELLING TO STREETLINE   | 100'     |                                       |  |
| OTHER PROPERTY LINES   | 25'      |                                       |  |
| DISTANCE BETWEEN DWELLINGS   | 15'      |                                       |  |
| * DISTANCE TO INCREASE TO 20' IF FACING WALLS CONTAIN A WINDOW.  |          |                                       |  |
| PARKING REQUIREMENTS:  |          |                                       |  |
|  | REQUIRED | PROVIDED                              |  |
| - 2 SPACES PER DWELLING UNIT (33,1.1)  | 68       | 68 GARAGE SPACES<br>12 VISITOR SPACES |  |
| COVERAGE:  |          |                                       |  |
|  | SE       | IS                                    |  |
| - PROPOSED BUILDING COVERAGE   | 81,838   | 7.8                                   |  |
| - PROPOSED IMPERVIOUS COVERAGE   | 173,928  | 16.6                                  |  |
| * SITE AREA = 1,048,530 SF   |          |                                       |  |

| SHRUB PLANTING                                    |       |   |         |
|---|-------|---|---------|
| N.T.S.  |       |   |         |
| PLACE PLANT IN VERTICAL PLUMB POSITION            |       |   |         |
| PRUNE BROKEN & DAMAGED TWIGS AFTER PLANTING       |       |   |         |
| BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL         |       |   |         |
| 3" MULCH  |       |   |         |
| WEED BARRIER FABRIC                               |       |   |         |
| PREPARED BACKFILL: 1 PART PEAT TO 3 PARTS TOPSOIL |       |   |         |
| TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING  |       |   |         |
| COMPACTED OR UNDISTURBED SOIL                     |       |   |         |
| PLANTING LIST                                     |       |   |         |
| SYMBOL  | QUAN. | NAME  | SIZE    |
| 34  | Az    | WHITE GUMPO AZALEA<br><i>Acacia 'Tangerine Glow'</i>          | 12"-15" |
| 34  | Rh    | RHODODENDRON GRANDIFLORUM<br><i>Rhododendron catalinaense</i> | 15"-18" |
| 34  | Ki    | MOUNTAIN LAUREL<br><i>Kalmia latifolia</i>                    | 3'-4'   |

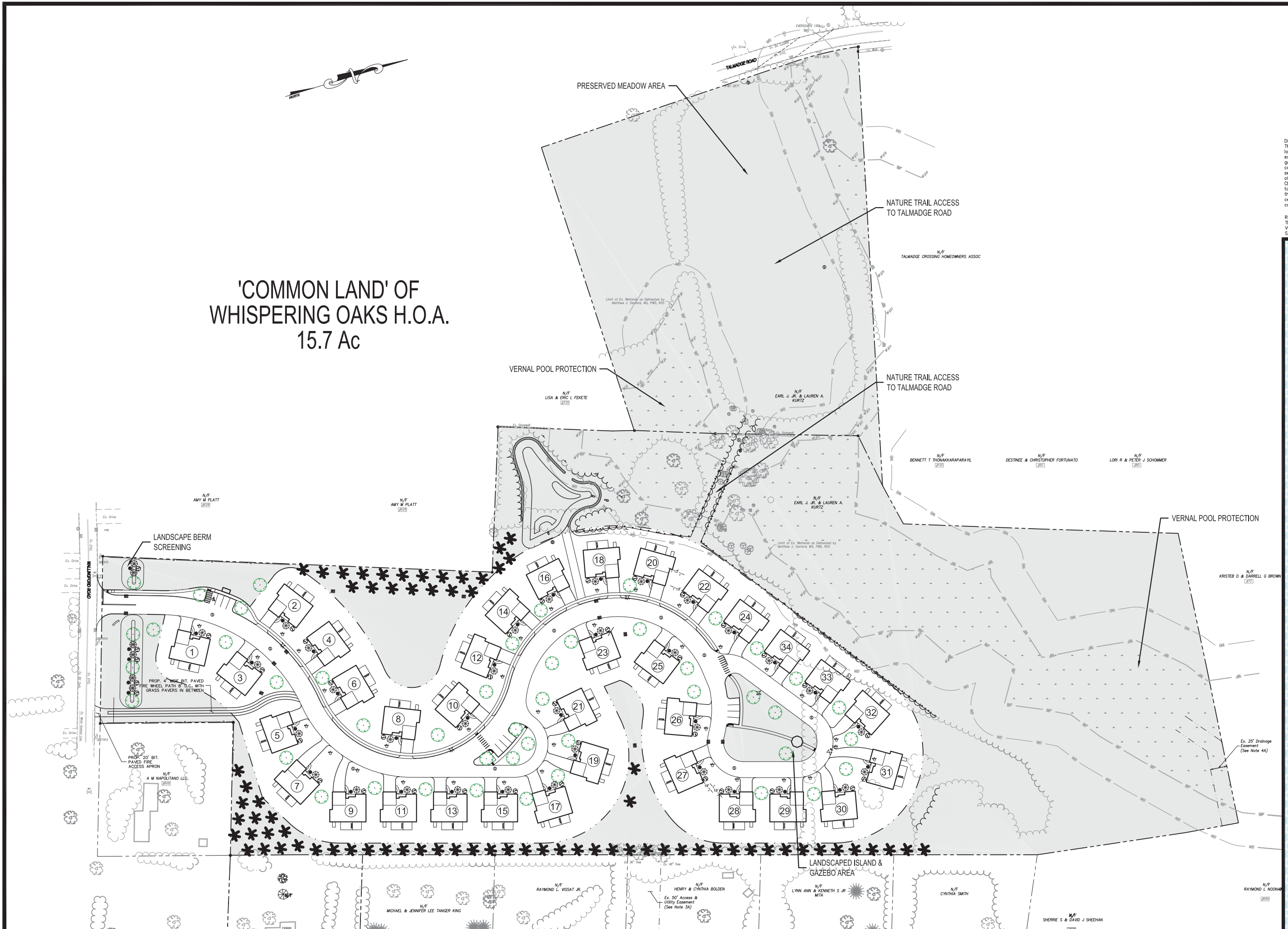
| DECIDUOUS TREE PLANTING  |  |  |  |
|--|--|--|--|
| N.T.S.   |  |  |  |
| PLACE PLANT IN VERTICAL PLUMB POSITION   |  |  |  |
| RUBBER HOSE LOOP & #12 WIRE  |  |  |  |
| CEDAR SHAKES 2" X 2" X 8'  |  |  |  |
| KEEP PLUMBS  |  |  |  |
| BURLAP TO REMAIN, LOOSEN FROM TOP OF BALL  |  |  |  |
| TAMP AND SOAK BACKFILL THOROUGHLY AFTER PLANTING   |  |  |  |
| COMPACTED OR UNDISTURBED SOIL  |  |  |  |
| PREPARED BACKFILL: 1 PART PEAT TO 3 PARTS TOPSOIL  |  |  |  |
| RECOMMENDED STREET TREES   |  |  |  |
| ACER SACCHARUM<br>GINKGO BILBOA MALE<br>OLESTIA TRI INERMIS THORNLESS<br>LIQUIDAMBAR STYRACIFLUA<br>LIQUIDAMBAR TULIPIFERA<br>PLATANUS ACERIFOLIA<br>*PRUNUS SEROTINA<br>QUERCUS BOREALIS<br>QUERCUS PALUSTRIS<br>TILIA CORDATA<br>TILIA TOMENTOSA |  |  |  |
| SUGAR MAPLE<br>MALE GINKGO<br>HONEYLOCUST<br>SWEETGUM<br>TULIPTREE<br>LONDON PLANE<br>BLACK CHERRY<br>RED OAK<br>PIN OAK<br>LITTLE LEAF LINDEN<br>SILVER LINDEN  |  |  |  |

- LANDSCAPE NOTES
1. ALL PLANTS SHALL BE OF FIRST CLASS QUALITY AND SHALL MEET THE REQUIREMENTS OF THE PLANT LIST. PLANTS SHALL BE SUBJECT TO INSPECTION AND REJECTION BY THE OWNER AND/OR LANDSCAPE ARCHITECT. NO SUBSTITUTIONS SHALL BE ALLOWED UNLESS APPROVED.
  2. SHRUBS SHALL BE SET IN BEDS WITH TOPSOIL 12" BELOW AND AROUND EACH SHRUB. SET SHRUBS UPRIGHT IN CENTER OF EACH PIT AND AT A DEPTH SO THAT THE FINISHED GRADE IS LEVEL AT THE PLANT. AFTER SETTLEMENT THE GRADE WILL BE THE SAME AS THE GENERAL LEVEL OF THE PLANT BED AND AT THE HEIGHT AS WHEN GROWING. WATER, BACKFILL, PUDDLE AND TAMP IN THE ACCEPTED APPROVED MANNER TO COMPLETE PLANTING. SHAPE AND PRUNE OUT ALL DEAD TWIGS.
  3. INSTALL SHREDDED BARK MULCH AND STONE MULCH TO DEPTH OF 3". STONE MULCH TO BE USED IN ALL ISLANDS. MULCH TO BE APPROVED BEFORE INSTALLATION.
  4. BARE AND DISTURBED AREAS SHALL BE SEEDED, IF NOT NOTED FOR TURF- PREPARE, SCARIFY AND APPLY SEED IN APPROVED MANNER.
  5. ALL PLANTINGS INCLUDING SEED MIXES SHALL BE NATIVE.
  6. ALL NEW WATER QUALITY BASINS SHALL INCORPORATE NON-INVASIVE NATIVE PLANTINGS.
- LEGEND
- PROPERTY LINE
  - IRON PIN TO BE SET
  - EXISTING IRON PIN
  - MONUMENT TO BE SET
  - EXISTING MONUMENT
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT
  - EXISTING HYDRANT
  - EXISTING GAS VALVE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EX. EDGE OF ROAD
  - EX. EDGE OF ROAD (CURBED)
  - EX. EDGE OF DRIVEWAY
  - EX. SANITARY SEWER LINE
  - EX. WATER LINE
  - EX. GUIDE RAIL
  - EX. CONTOUR





'COMMON LAND' OF  
WHISPERING OAKS H.O.A.  
15.7 Ac



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|             |                              |
|-------------|------------------------------|
| REVISION-7: |                              |
| REVISION-6: |                              |
| REVISION-5: |                              |
| REVISION-4: | 7/16/21 REVISED LAYOUT       |
| REVISION-3: | 07-01-21 RED. 34 UNIT LAYOUT |
| REVISION-2: | 6/7/21 STAFF COMMENTS        |
| REVISION-1: |                              |
| PROJECT:    | 220021-LOVEY CHESHIRE        |
| DR:         | AQ                           |
| SR:         | ---                          |
| DR:         | AQ                           |

SEAL:  
  
Andrew J. Quirk  
CT P.E. #22588

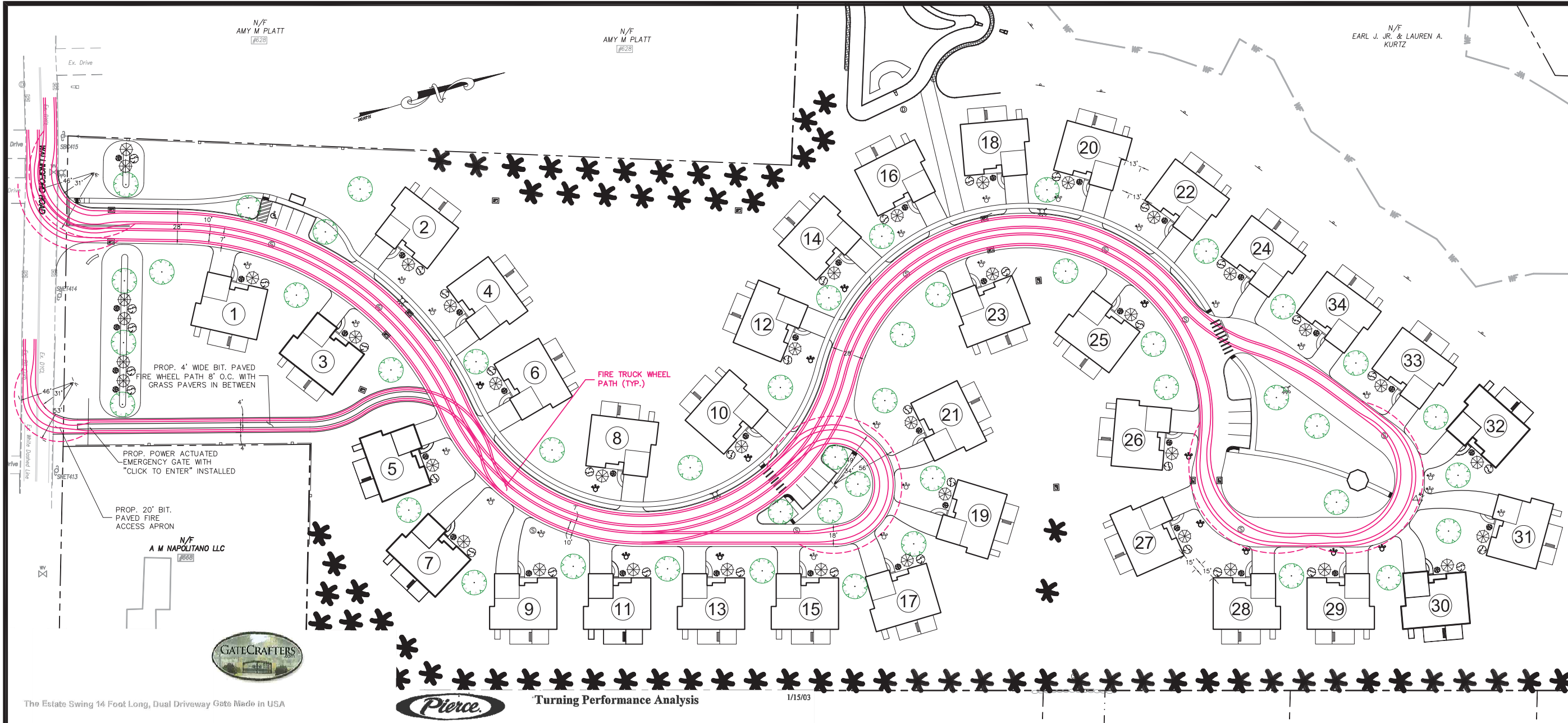
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**jones &**  
**associates, inc.**  
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**SITE COMMON  
LAND PLAN**

for  
  
**WHISPERING OAKS**  
  
648 WALLINGFORD ROAD  
CHESHIRE, CT

|  |
|--|
| SCALE: 1" = 40'                              |
| DATE: MAY 18, 2021                           |
| HALF ONE INCH TWO INCH<br>INCHES ON ORIGINAL |
| KJA FILE NO.: 220-021                        |
| DRAWING NO.: S-2                             |





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| REVISION-5: |                             |                |
| REVISION-4: | 7/16/21 REVISED LAYOUT      |                |
| REVISION-3: | 06-30-21 REDUCED URA IMPACT |                |
| REVISION-2: | 6/7/21 STAFF COMMENTS       |                |
| REVISION-1: |                             |                |
| PROJECT:    | 220021-LOVELY CHESHIRE      |                |
| DR:         | AG                          | SR: --- DR: AG |
| SEAL:       |                             |                |

Andrew J. Quirk  
CT P.E. #22588

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## SITE EMERGENCY ACCESS PLAN

for

## WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'

DATE: JUNE 3, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.: DRAWING NO.:

220-021 S-3

## Pierce Turning Performance Analysis

Quantity: 1

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**Product Details**

- Specifications
- Standard Features & Additional Options
- Detailed Images
- Further Images

**Specifications**

- Length: 14 feet long
- Gate Length + Hinge: 14 feet, 7 inches long
- Gate Length + Hinge + Estate Swing 3" Mounting posts: 15 feet, 0.50 inch/ft long
- Height: 5 feet on sides, 6 feet at the apex

From the innovative brand *Estate Swing* known for its dependable gate automation comes the new eye catching and affordable *Estate Swing* Driveway Gate Collection. With an elegant sweeping arc and clean lines this dual 14 foot long gate is functional both in its appearance and in regard to automation. The design incorporates classic artistry, sturdy wrought aluminum alloy and a smooth powder coated finish. Unlike other driveway gates where automation is a secondary thought, *Estate Swing* recognized the need for operator placement from the start, therefore customer automation preferences were considered beforehand which ultimately prevents awkward looking and structurally unsound flat bars from being added later on. See "gate construction" below for more details on how other gate companies fail to provide much needed automation support.

By using 8084-T6 wrought aluminum 1/2 inch pickets and a full 2 inch square flange members we create a tough and durable gate that is stronger lighter and is almost twice as resistant to denting or bending than steel, which in turn, is safer for people and objects as well as extends the operator life since it puts less strain on the gears. As gate automation professionals, *Estate Swing* sought to anticipate the needs of consumers and incorporate those details upon designing this dynamic driveway gate. It's easy to drill, easy to lift, easy to automate which keeps both the DIY installation effort and cost down significantly.

One other unique factor about our *Estate Swing* Driveway Gate Collection is that they are made in the U.S. by skilled welders which follow the American Welding Society's Standards. Keeping the manufacturing local allows for efficient quality review and substantially quicker shipping time compared to overseas outsourcing.

With all of these features and benefits another company would charge a much higher price, but because GateCrafters.com has a special relationship with Estate Swing, we've decided to pass the savings on to you! From our loyal GateCrafters customers we've heard the request for affordable security. Never before has such a well designed driveway gate been so accessible and so affordably priced.

**Components**

| PRIDE # | Description                                    |
|---------|--|
| 0000295 | Axle, Front, Meritor FL-941, 21,000 lb         |
| 0031621 | Tires, Michelin, 425/65R22.50 20 ply XZY tread |
| 0060006 | Lance-2000 Chassis                             |
| 0012246 | Bumper, 22" extended - all chassis'            |
| 0022160 | Aerial, 100' Pierce Platform                   |

**Notes:**

Actual Inside Cramp Angle may be less due to highly specialized options.

Curb to Curb turning radius calculated for a 9.00 inch curb.

Reduce turning radius by 33% if vehicle is equipped with all-wheel steer.

**Parameters:**

|                          |            |
|--------------------------|------------|
| Inside Cramp Angle:      | 33.00 °    |
| Axle Track:              | 83.11 in.  |
| Wheel Offset:            | 5.25 in.   |
| Tread Width:             | 17.70 in.  |
| Chassis Overhang:        | 65.99 in.  |
| Additional Bumper Depth: | 22.00 in.  |
| Front Overhang:          | 151.60 in. |
| Wheelbase:               | 252.00 in. |

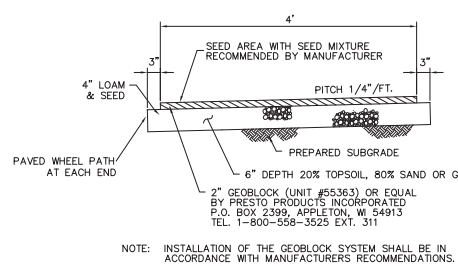
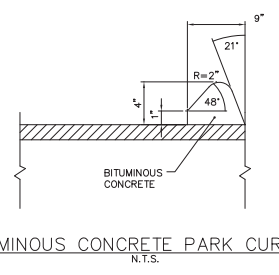
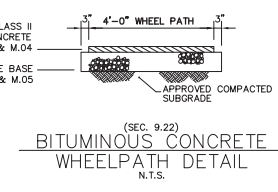
**Calculated Turning Radii:**

|               |              |
|---------------|--------------|
| Inside Turn:  | 31 ft. 2 in. |
| Curb to Curb: | 45 ft. 8 in. |
| Wall to Wall: | 52 ft. 7 in. |

**Comments:**

Aerial Application

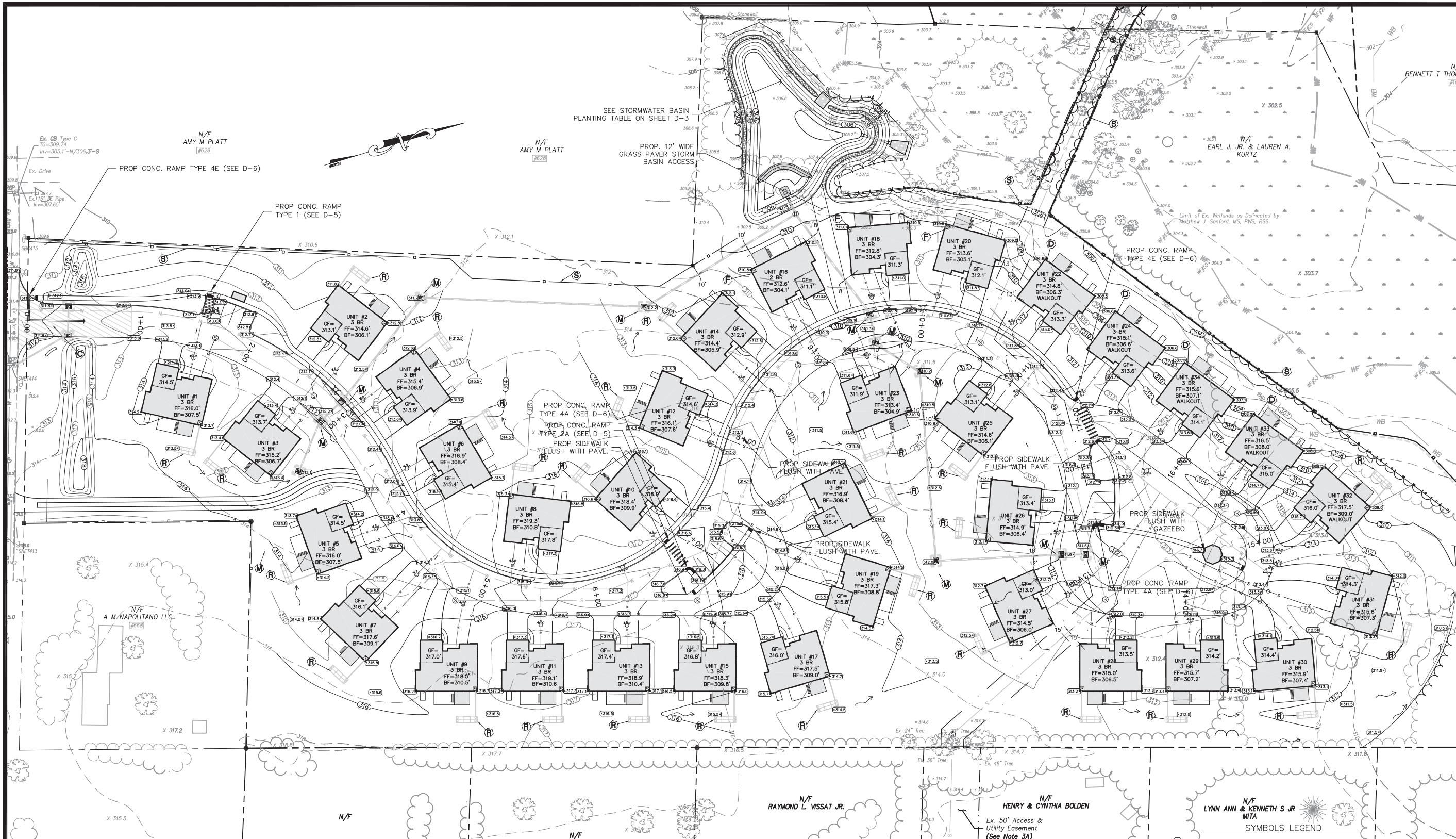
PROJECTED LANCE II PERFORMANCE



**LEGEND**

|     |                           |
|-----|---------------------------|
| --- | PROPERTY LINE             |
| ●   | IRON PIN TO BE SET        |
| ■   | EXISTING IRON PIN         |
| ■   | MONUMENT TO BE SET        |
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| --- | EX. EDGE OF ROAD (CURBED) |
| --- | EX. EDGE OF DRIVEWAY      |
| --- | EX. SANITARY SEWER LINE   |
| --- | EX. WATER LINE            |
| --- | EX. GUIDE RAIL            |
| --- | EX. CONTOUR               |





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| REVISION   | DATE                   | BY     | DESCRIPTION         |
|------------|------------------------|--------|---------------------|
| REVISION-7 |                        |        |                     |
| REVISION-6 |                        |        |                     |
| REVISION-5 |                        |        |                     |
| REVISION-4 |                        |        |                     |
| REVISION-3 | 7/16/21                |        | REVISED LAYOUT      |
| REVISION-2 | 6/7/21                 |        | STAFF COMMENTS      |
| REVISION-1 | 5/14/21                |        | SAN. SEWER CROSSING |
| PROJECT    | 220021-LOVELY CHESHIRE |        |                     |
| DR: AQ     | SR: ---                | DR: AQ |                     |

SEAL:

kratzert, jones & associates, inc.

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MILDALE, CT 06457-0337

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## GRADING AND EROSION CONTROL MAP

for

## WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'

DATE: MARCH 24, 2021

KJA FILE NO.: 220-021

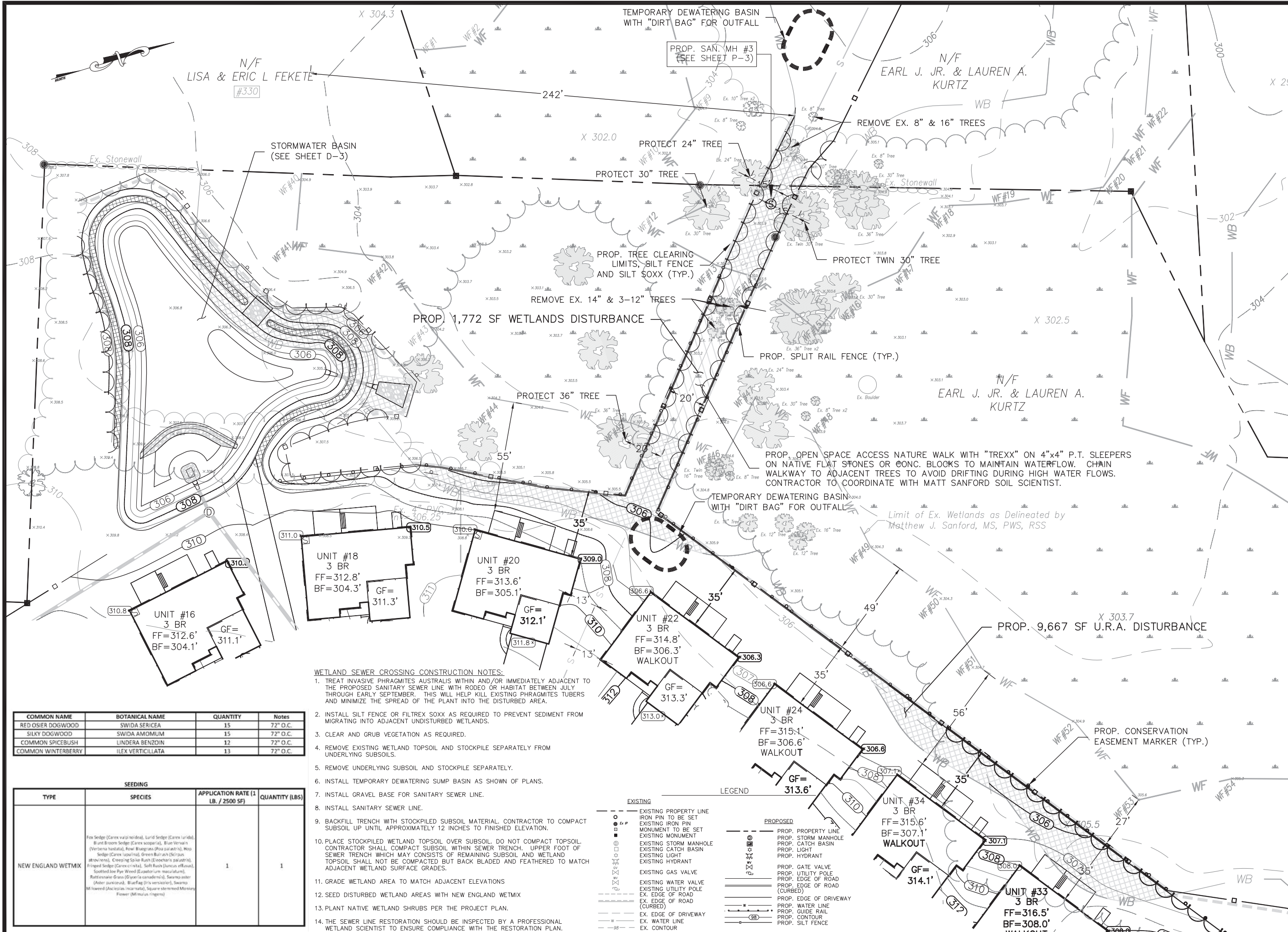
DRAWING NO.: G-1

- CONSTRUCTION SEQUENCE:**
1. AN ON-SITE JOB MEETING TO DISCUSS AND PLAN IMPLEMENTATION OF EROSION CONTROL SHALL TAKE PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
  2. LIMITS OF CLEARING SHALL BE STAKED IN THE FIELD PRIOR TO CONSTRUCTION.
  3. ESTABLISH EROSION AND SEDIMENTATION CONTROL MEASURES, AS SHOWN ON PLAN PRIOR TO INITIATING ANY CONSTRUCTION ACTIVITY.
  4. CALL BEFORE YOU DIG 1-800-922-4455.
  5. CLEAR AND GRUB SITE. TREES AND STUMPS SHALL BE DISPOSED OF IN AN APPROVED MANNER. DEVELOP CONSTRUCTION ENTRANCE.
  6. STRIP AND STOCKPILE TOPSOIL FROM ROADWAY AREA. ANCHOR WITH STRAW MULCH AND SILT FENCE. IF STOCKPILES ARE TO BE LEFT IN PLACE FOR MORE THAN 30 DAYS, THEN THEY SHOULD BE SEED WITH ANNUAL RYE GRASS AT A RATE OF 40 LBS/ACRE.
  7. FINISH GRADE ROAD RIGHT OF WAY PURSUANT TO THE APPROVED PLAN.
  8. CONSTRUCT SITE UTILITIES; PROTECT CATCH BASINS WITH STRAW WATTLERS OR STRAW BALES, AND FILTER FABRIC ON GRATES TO TRAP ANY SEDIMENT THAT ACCUMULATES DURING CONSTRUCTION.
  9. PLACE AND GRADE BANKS; PROVIDE SLOPE STABILIZATION AT 3:1 BANKS AND GREATER.
  10. FINISH GRADE ROADWAY AND PLACE GRAVEL BASE FOR BINDER COURSE OF PAVING.
  11. PAVED APRONS TO BE CONSTRUCTED TO THE RIGHT OF WAY LINE AT ALL PROPOSED CURB CUTS.
  12. PLACE FINISH COURSE OF PAVING.
  13. FINISH GRADE RIGHT OF WAY; SPREAD TOPSOIL (4" MIN.) AND SEED ALL AREAS DISTURBED BY CONSTRUCTION; STABILIZE ALL SLOPES.
- SUGGESTED SEED MIXTURE**
- |                     | LBS/AC | LBS/1000 SF |
|---------------------|--------|-------------|
| KENTUCKY BLUEGRASS  | 20     | 0.45        |
| CREeping RED FESCUE | 20     | 0.45        |
| PERENNIAL RYE GRASS | 5      | 0.10        |
|                     | 45     | 1.00        |
- GRADING NOTES:**
1. CONTOUR INTERVAL = 2'
  2. ELEVATIONS BASED ON MAP REFERENCE #1.
  3. TOPOGRAPHY IS FROM FIELD SURVEY.
  4. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED. ALL UTILITIES MAY NOT BE SHOWN. PRIOR TO ANY EXCAVATION, CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455.
  5. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO CONSTRUCTION.
  6. ALL EARTH SLOPES TO BE 2' HORIZONTAL TO 1' VERTICAL MAXIMUM.
  7. EROSION AND SEDIMENTATION CONTROL TO FOLLOW CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
  8. ALL AREAS DISTURBED BY CONSTRUCTION TO BE RESTORED WITH MINIMUM 4" OF LOAM AND SEEDED. DEVELOPMENT OF INDIVIDUAL BUILDING(S) SHOWN ON THESE PLANS IS INTENDED TO BE CONCEPTUAL IN NATURE TO FACILITATE HOUSE PLANNING. DEVELOPER SHALL NOT BE PRECLUDED FROM REVISING THIS PLAN TO ACCOMMODATE ACTUAL HOUSE STYLE CHOSEN AND FIELD CONDITIONS FOUND ON EACH LOT.
  9. SEE EROSION AND SEDIMENTATION CONTROL NOTES.
  10. CONTRACTOR TO VERIFY BY TEST PIT EXACT LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
  11. IF NECESSARY, USE DEWATERING BAG (SEE DETAIL).
  12. ALL BUILDING AND SITE LIGHTING SHOULD BE LED AND FULL CUT-OFF.
  13. ALL MAXIMUM GRADE FOR DRIVEWAYS TO NOT EXCEED 15%.
  14. ALL BASEMENTS TO HAVE A FOOTING DRAIN INSTALLED & CONNECTED TO A SUMP PUMP WITH DISCHARGE TO THE SURFACE EXCEPT FOR WALKOUT UNITS.
  15. ROOF DRAINS TO UNDERGROUND STORAGE WHERE SHOWN.

- EXISTING AND SEDIMENTATION CONTROL NOTES:**
1. LAND DISTURBANCE SHALL BE KEPT TO A MINIMUM. AREAS THAT ARE CLEARED AND/OR PAVED SHOULD HAVE PERMANENT SOIL STABILIZATION MEASURES APPLIED WITHIN 7 DAYS OF ESTABLISHING THE FINAL GRADE.
  2. IF GRADING IS DELAYED MORE THAN 30 DAYS AFTER SOILS ARE DISTURBED, TEMPORARY SOIL STABILIZATION MEASURES (e.g. TEMPORARY SEEDING OR A NON-VEGETATED COVER) SHOULD BE APPLIED WITHIN 7 DAYS OF SUSPENDING WORK.
  3. SLOPES SHALL BE RESTRICTED TO 2' HORIZONTAL/1' VERTICAL MAXIMUM PRIOR TO GRADING AND/OR RETAINING WALLS.
  4. DISTURBED AREAS, EXCEPT PAVED AREAS, SHALL BE LOAMED (4" MIN.) AND SEED OR MULCHED.
  5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, THEIR APPLICATIONS, AND SPECIFIC DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CT COUNCIL ON SOIL AND WATER CONSERVATION MANUAL ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", AS AMENDED TO DATE.
  6. ALL E&S CONTROL MEASURES SHALL BE MAINTAINED IN EFFECTIVE CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. ANY E&S CONTROL MEASURES NOT BE SUBJECT TO A VIOLATION.
  7. ADDITIONAL E&S MEASURES SHALL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY BY THE MUNICIPALITY.
  8. SEDIMENTATION BARRIERS TO BE FIRE-RETARDANT 150 GRADE, APPROVED EQUAL, STRAW WATTLERS OR STRAW BALES.
  9. SEDIMENTATION BARRIERS TO BE INSTALLED AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION.
  10. BRING ANY UNFORESEEN CONDITIONS TO THE ATTENTION OF THE MUNICIPALITY. ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS OF THE MUNICIPALITY.
  11. LOVELY DEVELOPMENT, INC. OR DULY AUTHORIZED AGENT (860) 276-8068 IS RESPONSIBLE FOR NOTIFYING THE MUNICIPALITY'S PLANNING AND ENGINEERING DEPARTMENTS AT LEAST 24 HOURS IN ADVANCE OF START OF ANY CONSTRUCTION ACTIVITY.
  12. LOVELY DEVELOPMENT, INC. OR DULY AUTHORIZED AGENT (860) 276-8068 IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENTATION CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTS OF THE PLAN, NOTIFYING THE PLANNING AND ZONING OFFICE OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR PROVIDING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE OF THE LAND IS TRANSFERRED.
  13. SEDIMENT CONTROL: TEMPORARY PEROUS BARRIERS, USING STRAW BALES, STRAW WATTLERS OR SILT FENCE, HELD IN PLACE WITH WOODEN STAKES SHALL BE USED AT ALL AREAS WHERE STORM WATER CONTAINING SUSPENDED SEDIMENT COULD DRAIN OFF SITE.
  14. SILT FENCE AND/OR STRAW WATTLERS & STRAW BALES TO BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION OPERATIONS. ANY DAMAGED BARRIERS SHALL BE REPLACED AND/OR RESET IMMEDIATELY FOLLOWING DAMAGE. PERPENDICULAR WINGS SHALL BE USED TO BREAK THE VELOCITY OF WATER FLOWING ALONG THE GEOTEXTILE SILT FENCE WHERE IT DOES NOT FOLLOW THE CONTOUR AT THE TOE OF SLOPE. FOR SLOPES OF 5:1 OR FLATTER, WINGS SHALL BE PLACED EVERY 100 FEET. FOR SLOPES OF 3:1 TO 5:1 EVERY 75 FEET. AND FOR 2:1 TO 3:1 SLOPES, EVERY 50 FEET.
  15. PURSUANT TO THE REGULATIONS: A LAYER OF TOPSOIL SHALL BE SPREAD OVER THE EXCAVATED AREA, LOAMED & SEED, 4 INCHES MINIMUM IN DEPTH IN ACCORDANCE WITH THE APPROVED CONTOUR PLAN.
  16. CATCH BASIN MAINTENANCE SCHEDULE: SEDIMENT TO BE EXTRACTED FROM SUMP(S) TWICE YEARLY (IN THE SPRING AND FALL) AND DISPOSED OF IN AN ENVIRONMENTALLY ACCEPTABLE MANNER. MATERIAL FROM THE TEMPORARY STOCKPILE WHICH IS NOT USED DURING CONSTRUCTION SHALL HAULED OFF-SITE.
  17. ADDITIONAL E&S MEASURES WILL BE REVIEWED AT THE TIME OF THE ZONING PERMIT APPLICATION FOR INDIVIDUAL LOTS.
  18. PROVIDE STONE CHECK DAMS EVERY 50' ACROSS ALL TEMPORARY DIVERSION SWALES (IF NECESSARY).
  19. ALL DEWATERING MUST INCORPORATE THE USE FILTER BAGS ON DISCHARGE HOSES.
  20. DUST CONTROL MEASURES, INCLUDING THE USE OF MULCHES, SPRAY ADHESIVES, WATER AND CALCIUM CHLORIDE SHALL BE UTILIZED WHENEVER ORDERED OR WHEN WINDS ARE FORECAST TO EXCEED 10 MPH.
  21. PUBLIC RIGHTS-OF-WAY SHALL BE KEPT CLEAN DURING EARTH MOVING.
  22. ALL DISTURBED/CREATED SLOPES SHOULD BE HYDROSEED WITH A TACKIFIER.
  23. ALL STORMWATER PONDS SHOULD BE SHAPED AND HYDROSEED IMMEDIATELY AFTER GRADING AND BE USED FOR SEDIMENT CONTROL. TEMPORARY PONDS AND DIVERSION SWALES MAY BE NEEDED. EROSION CONTROLS TO BE INSTALLED ON THE SIDE OF ALL PERMANENT PONDS.
  24. ALL GREENSPACE AREAS SHOULD BE ESTABLISHED IMMEDIATELY AFTER DRAINAGE IS INSTALLED. HYDROSEEDING, FILTER BEMS, AND TACKIFIER SHOULD BE PROVIDED

- SYMBOLS LEGEND**
- | EXISTING | PROPOSED |  |
|----------|----------|--|
| ○        | ○        | PROP. CONSTRUCTION ENTRANCE                                      |
| ●        | ●        | PROP. ROOF LEADER TO GROUNDWATER RECHARGE UNITS                  |
| ■        | ■        | PROP. SILT FENCE   |
| ■        | ■        | PROP. MULCH LOGS AND FILTER FABRIC AT INLETS                     |
| ■        | ■        | PROP. FOOTING DRAIN TO DISCHARGE TO PIPE AT SURFACE BY SUMP PUMP |
| ■        | ■        | PROP. FOOTING DRAIN TO DISCHARGE TO DAYLIGHT PIPE AT SURFACE     |
| ■        | ■        | LEGEND   |
| ○        | ○        | EXISTING PROPERTY LINE   |
| ○        | ○        | IRON PIN TO BE SET   |
| ○        | ○        | EXISTING IRON PIN  |
| ○        | ○        | MONUMENT TO BE SET   |
| ○        | ○        | EXISTING MONUMENT  |
| ○        | ○        | EXISTING STORM MANHOLE   |
| ○        | ○        | EXISTING CATCH BASIN   |
| ○        | ○        | EXISTING LIGHT   |
| ○        | ○        | EXISTING HYDRANT   |
| ○        | ○        | EXISTING GAS VALVE   |
| ○        | ○        | EXISTING WATER VALVE   |
| ○        | ○        | EXISTING UTILITY POLE  |
| ○        | ○        | EX. EDGE OF ROAD   |
| ○        | ○        | EX. EDGE OF ROAD (CURBED)  |
| ○        | ○        | EX. EDGE OF DRIVEWAY   |
| ○        | ○        | EX. WATER LINE   |
| ○        | ○        | EX. CONTOUR  |





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|             |                             |
|-------------|-----------------------------|
| REVISION-7: |                             |
| REVISION-6: |                             |
| REVISION-5: |                             |
| REVISION-4: |                             |
| REVISION-3: | 7/16/21 REVISED LAYOUT      |
| REVISION-2: | 06-30-21 REDUCED URA IMPACT |
| REVISION-1: | 6/7/21 STAFF COMMENTS       |
| PROJECT:    | 220021-LOVELY CHESHIRE      |
| DB: AQ      | SR: ---                     |
| DR: AQ      |                             |

SEAL:  
  
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WETLAND  
CROSSING DETAIL  
PLAN

for  
  
WHISPERING OAKS  
  
648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 20'  
DATE: MAY 14, 2021  
KJA FILE NO.: 220-021  
DRAWING NO.: G-2

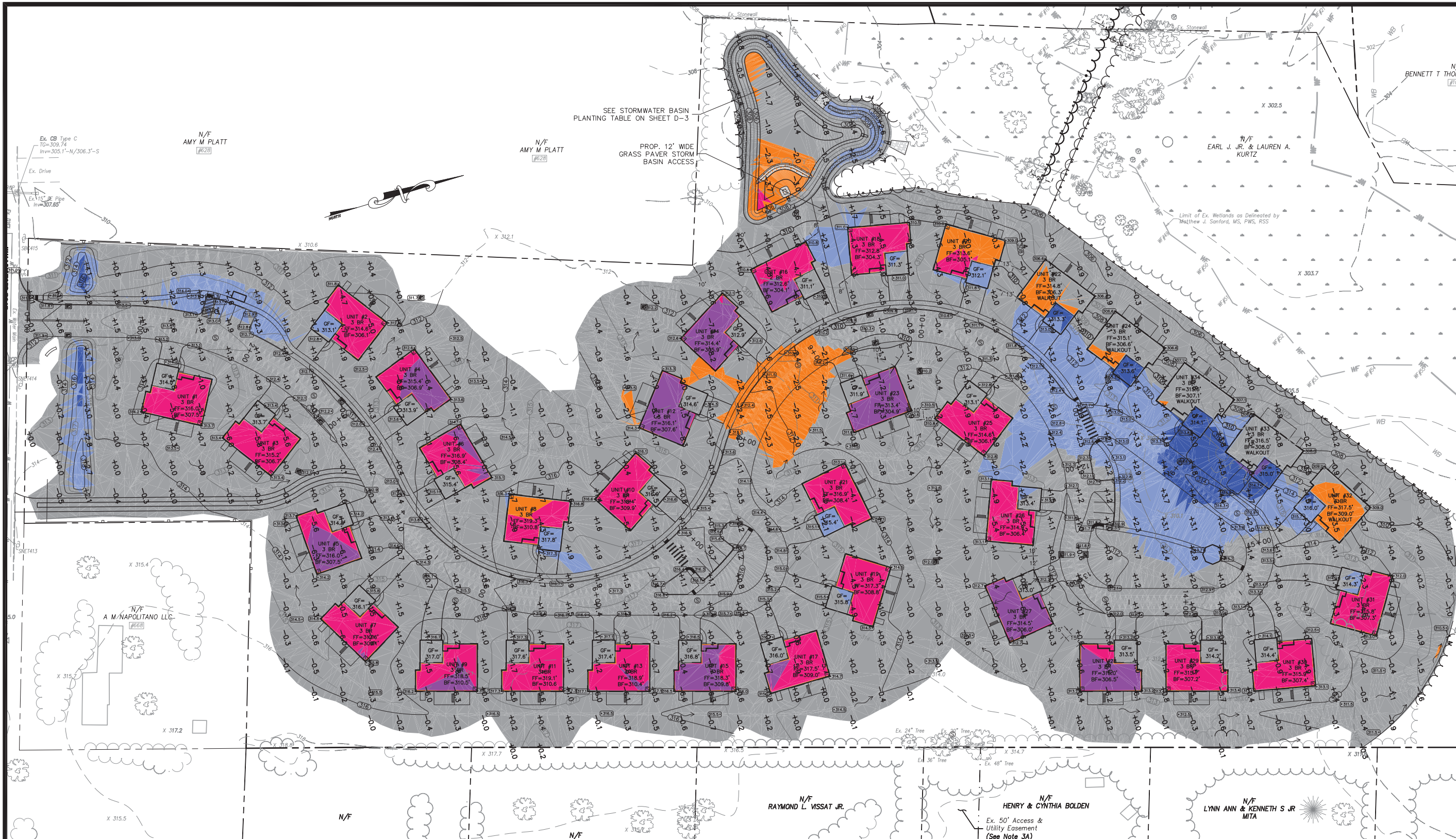
- WETLAND SEWER CROSSING CONSTRUCTION NOTES:**
1. TREAT INVASIVE PHRAGMITES AUSTRALIS WITHIN AND/OR IMMEDIATELY ADJACENT TO THE PROPOSED SANITARY SEWER LINE WITH RODEO OR HABITAT BETWEEN JULY THROUGH EARLY SEPTEMBER. THIS WILL HELP KILL EXISTING PHRAGMITES TUBERS AND MINIMIZE THE SPREAD OF THE PLANT INTO THE DISTURBED AREA.
  2. INSTALL SILT FENCE OR FILTREX SOXX AS REQUIRED TO PREVENT SEDIMENT FROM MIGRATING INTO ADJACENT UNDISTURBED WETLANDS.
  3. CLEAR AND GRUB VEGETATION AS REQUIRED.
  4. REMOVE EXISTING WETLAND TOPSOIL AND STOCKPILE SEPARATELY FROM UNDERLYING SUBSOILS.
  5. REMOVE UNDERLYING SUBSOIL AND STOCKPILE SEPARATELY.
  6. INSTALL TEMPORARY DEWATERING SUMP BASIN AS SHOWN OF PLANS.
  7. INSTALL GRAVEL BASE FOR SANITARY SEWER LINE.
  8. INSTALL SANITARY SEWER LINE.
  9. BACKFILL TRENCH WITH STOCKPILED SUBSOIL MATERIAL. CONTRACTOR TO COMPACT SUBSOIL UP UNTIL APPROXIMATELY 12 INCHES TO FINISHED ELEVATION.
  10. PLACE STOCKPILED WETLAND TOPSOIL OVER SUBSOIL. DO NOT COMPACT TOPSOIL. CONTRACTOR SHALL COMPACT SUBSOIL WITHIN SEWER TRENCH. UPPER FOOT OF SEWER TRENCH WHICH MAY CONSIST OF REMAINING SUBSOIL AND WETLAND TOPSOIL SHALL NOT BE COMPACTED BUT BACK BLADED AND FEATHERED TO MATCH ADJACENT WETLAND SURFACE GRADES.
  11. GRADE WETLAND AREA TO MATCH ADJACENT ELEVATIONS
  12. SEED DISTURBED WETLAND AREAS WITH NEW ENGLAND WETMIX
  13. PLANT NATIVE WETLAND SHRUBS PER THE PROJECT PLAN.
  14. THE SEWER LINE RESTORATION SHOULD BE INSPECTED BY A PROFESSIONAL WETLAND SCIENTIST TO ENSURE COMPLIANCE WITH THE RESTORATION PLAN.

| COMMON NAME        | BOTANICAL NAME    | QUANTITY | Notes    |
|--------------------|-------------------|----------|----------|
| RED OSIER DOGWOOD  | SWIDA SERICEA     | 15       | 72" O.C. |
| SILKY DOGWOOD      | SWIDA AMOMUM      | 15       | 72" O.C. |
| COMMON SPICEBUSH   | LINDERA BENZOIN   | 12       | 72" O.C. |
| COMMON WINTERBERRY | ILEX VERTICILLATA | 13       | 72" O.C. |

| SEEDING            |  |                                    |                |
|--------------------|--|------------------------------------|----------------|
| TYPE               | SPECIES  | APPLICATION RATE (1 LB. / 2500 SF) | QUANTITY (LBS) |
| NEW ENGLAND WETMIX | Fox Sedge (Carex vasehoide), Lurid Sedge (Carex lurida), Blunt Broom Sedge (Carex scoparia), Blue Vernal (Veronica hastata), Four Broomgrass (Poa parviflora), Hop Sedge (Carex lasiocarpa), Green Broomgrass (Poa pratensis), Creeping Spike Rush (Eleocharis palustris), Fringed Sedge (Carex crinita), Soft Rush (Juncus effusus), Spotted Low Pine Weed (Eleocharis maculata), Rattailgrass (Glyceria canadensis), Swamp aster (Aster paniculatus), Blueflag (Iris versicolor), Swamp Milkweed (Asclepias incarnata), Square stemmed Monkey Flower (Mimulus ringens) | 1                                  | 1              |

- LEGEND**
- EXISTING**
- EXISTING PROPERTY LINE
  - IRON PIN TO BE SET
  - EXISTING IRON PIN MONUMENT TO BE SET
  - EXISTING MONUMENT
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT
  - EXISTING HYDRANT
  - EXISTING GAS VALVE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EX. EDGE OF ROAD (CURBED)
  - EX. EDGE OF DRIVEWAY
  - EX. WATER LINE
  - EX. CONTOUR
- PROPOSED**
- PROP. PROPERTY LINE
  - PROP. STORM MANHOLE
  - PROP. CATCH BASIN
  - PROP. LIGHT
  - PROP. HYDRANT
  - PROP. GATE VALVE
  - PROP. UTILITY POLE
  - PROP. EDGE OF ROAD (CURBED)
  - PROP. EDGE OF DRIVEWAY
  - PROP. WATER LINE
  - PROP. GUIDE RAIL
  - PROP. CONTOUR
  - PROP. SILT FENCE





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|-------------|------------------------|----------------|-------------|
| REVISION-7: |                        |                |             |
| REVISION-6: |                        |                |             |
| REVISION-5: |                        |                |             |
| REVISION-4: |                        |                |             |
| REVISION-3: |                        |                |             |
| REVISION-2: |                        |                |             |
| REVISION-1: | 7/16/21                | REVISED LAYOUT |             |
| PROJECT:    | 220021-LOVELY CHESHIRE |                |             |
| DR: AQ      | SR: ---                | DR: AQ         |             |

SEAL:

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## SITE EARTHWORK COMPUTATIONS SHEET

for  
**WHISPERING OAKS**

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'  
DATE: JUNE 4, 2021  
KJA FILE NO.: 220-021  
DRAWING NO.: G-3

| EARTHWORK |            |           |         |           |
|-----------|------------|-----------|---------|-----------|
| Color     | Range Beg. | Range End | Percent | Area      |
| ■         | -9.00      | -6.00     | 2.9     | 13415.09  |
| ■         | -6.00      | -4.00     | 7.4     | 33900.96  |
| ■         | -4.00      | -2.00     | 3.7     | 16793.18  |
| ■         | -2.00      | 2.00      | 76.8    | 349647.13 |
| ■         | 2.00       | 4.00      | 7.7     | 35215.37  |
| ■         | 4.00       | 6.00      | 1.3     | 6057.00   |
| ■         | 6.00       | 8.00      | 0.0     | 138.97    |

**EARTHWORK VOLUME ESTIMATES**

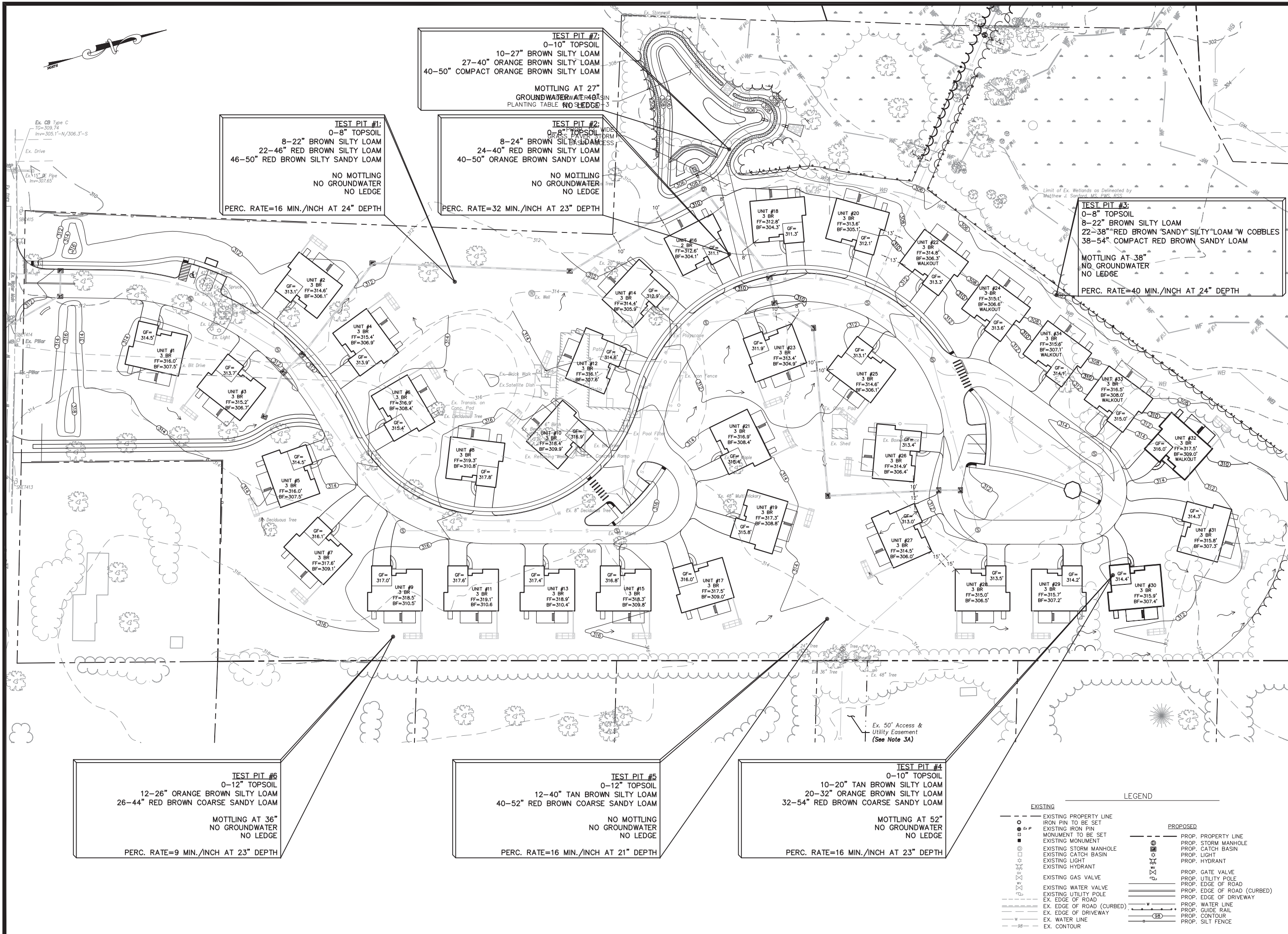
|   |  |
|---|--|
| APPROXIMATE CUT VOLUME                        | -13,364 CY   |
| APPROXIMATE FILL VOLUME                       | +12,866 CY   |
| UNADJUSTED EXISTING TO FINISHED SURFACE MODEL | -498 CY (CUT)  |
| ADJUSTMENT FOR ROAD PAVEMENT MATERIAL IMPORT  | +2,350 CY (16"x28"x1700 LF)                                |
| ADJUSTMENT FOR WALK PAVEMENT MATERIAL IMPORT  | +190 CY (11"x4"x1400 LF)                                   |
| ADJUSTMENT FOR DRIVE PAVEMENT MATERIAL IMPORT | +567 CY (9"x600 SF X 34)                                   |
| ADJUSTMENT FOR ROAD PAVEMENT MATERIAL IMPORT  | -3605 CY (CUT - TO REMAIN ON SITE - 2.6" PER SURFACE AREA) |

\* ESTIMATES REFLECT A SURFACE MODEL CALCULATION BUT DO NOT ACCOUNT FOR TOPSOIL, COMPACTION OR FLUFF FACTORS. THE SITE IS INTENDED TO BE BALANCED.

**LEGEND**

| EXISTING                    | PROPOSED                      |
|-----------------------------|-------------------------------|
| — EXISTING PROPERTY LINE    | — PROP. PROPERTY LINE         |
| ● EX. IRON PIN TO BE SET    | — PROP. STORM MANHOLE         |
| — EXISTING IRON PIN         | — PROP. CATCH BASIN           |
| — EXISTING MONUMENT         | — PROP. LIGHT                 |
| — EXISTING STORM MANHOLE    | — PROP. HYDRANT               |
| — EXISTING CATCH BASIN      | — PROP. GATE VALVE            |
| — EXISTING LIGHT            | — PROP. UTILITY POLE          |
| — EXISTING HYDRANT          | — PROP. EDGE OF ROAD (CURBED) |
| — EXISTING GAS VALVE        | — PROP. EDGE OF DRIVEWAY      |
| — EXISTING WATER VALVE      | — PROP. WATER LINE            |
| — EXISTING UTILITY POLE     | — PROP. GUIDE RAIL            |
| — EX. EDGE OF ROAD (CURBED) | — PROP. CONTOUR               |
| — EX. EDGE OF DRIVEWAY      | — PROP. SILT FENCE            |
| — EX. WATER LINE            |                               |
| — EX. CONTOUR               |                               |





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| REVISION-5: |                         |        |
| REVISION-4: |                         |        |
| REVISION-3: |                         |        |
| REVISION-2: |                         |        |
| REVISION-1: | 7/16/21 REVISED LAYOUT  |        |
| PROJECT:    | 220021-LOVELEY CHESHIRE |        |
| DR: AQ      | SR: ---                 | DR: AQ |

SEAL:

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CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS

P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337

PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

**SITE SOIL  
TESTING DATA  
SHEET**

for

**WHISPERING OAKS**

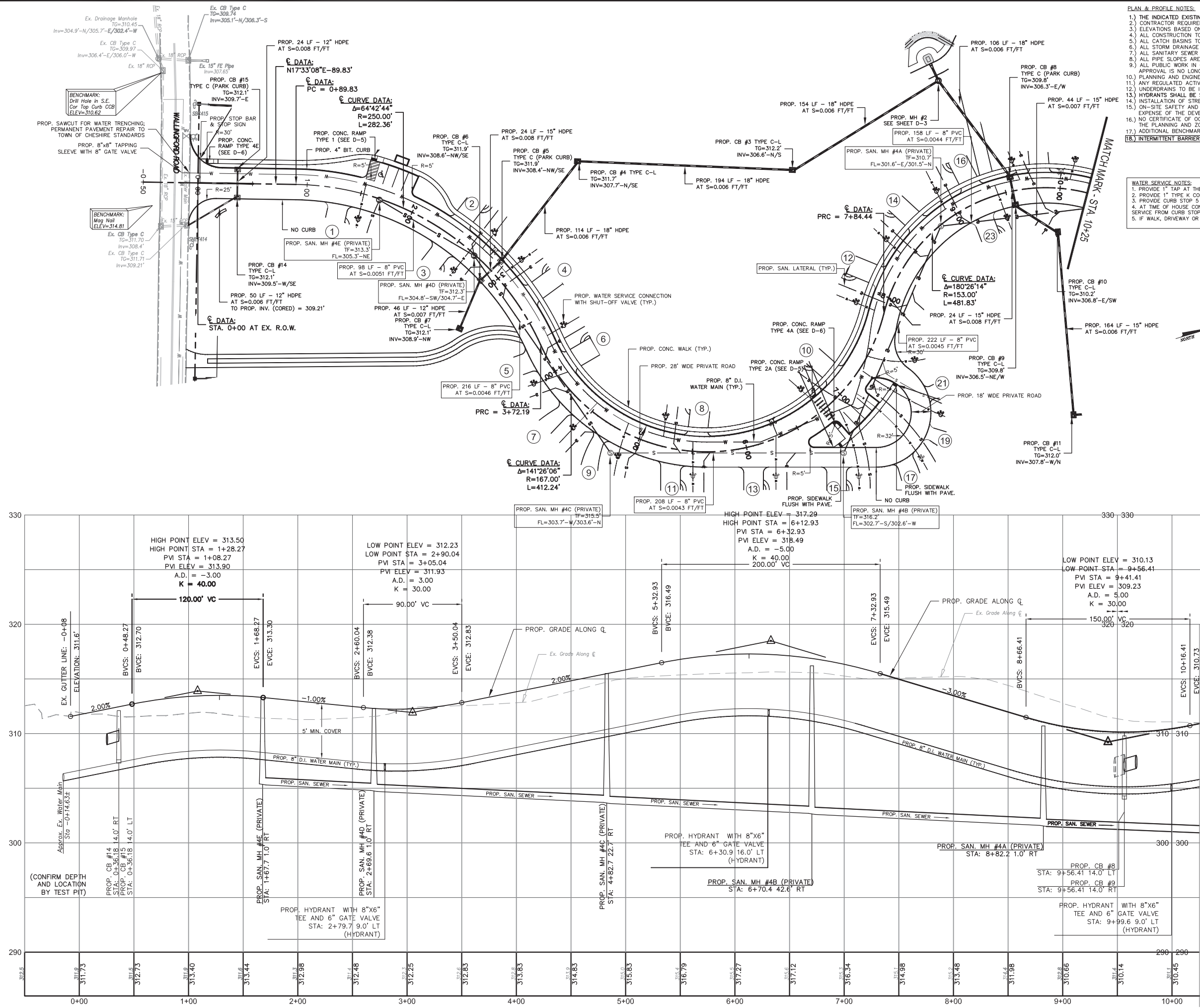
648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'  
DATE: JUNE 4, 2021

|                    |          |          |
|--------------------|----------|----------|
| HALF               | ONE INCH | TWO INCH |
| INCHES ON ORIGINAL |          |          |

KJA FILE NO.: 220-021  
DRAWING NO.: G-4





- PLAN & PROFILE NOTES:**
1. THE INDICATED EXISTING UTILITIES ARE BASED ON LIMITED INFORMATION. THE LOCATIONS ARE APPROXIMATE AND NOT GUARANTEED.
  2. CONTRACTOR REQUIRED TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS, QUANTITIES AND DETAILS PRIOR TO ANY CONSTRUCTION.
  3. ELEVATIONS BASED ON U.S.C. & G.S. DATUM.
  4. ALL CONSTRUCTION TO CONFORM TO C.D.O.T. FORM 816A AS AMENDED TO DATE.
  5. ALL CATCH BASINS TO BE C.H.D. TYPE 'C' UNLESS OTHERWISE NOTED. ALL CB'S SHALL HAVE A 2' DEEP (MIN.) SUMP.
  6. ALL STORM DRAINAGE PIPE TO BE HDPE - CORRUGATED SMOOTH INTERIOR - HIGH-DENSITY POLYETHYLENE UNLESS OTHERWISE NOTED.
  7. ALL SANITARY SEWER PIPE TO CONFORM TO LOCAL BUILDING AND/OR ENGINEERING SPECIFICATIONS.
  8. ALL PIPE SLOPES ARE DELINEATED IN FT/FT UNITS.
  9. ALL PUBLIC WORK IN CONNECTION WITH THIS PLAN SHALL BE COMPLETED WITHIN FIVE YEARS OF THE DATE OF APPROVAL, OR THE APPROVAL IS NO LONGER VALID.
  10. PLANNING AND ENGINEERING DEPARTMENTS TO BE NOTIFIED 24 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITY.
  11. ANY REGULATED ACTIVITY IN A DESIGNATED INLAND WETLAND AREA NOT A PART OF THIS PLAN SHALL REQUIRE A NEW PERMIT.
  12. UNDERDRAINS TO BE INSTALLED AT THE TIME OF CONSTRUCTION, IF REQUIRED BY THE TOWN ENGINEER.
  13. HYDRANTS SHALL BE SET PLUMB WITH OUTLETS 18" ABOVE FINISHED GRADE.
  14. INSTALLATION OF STREET LIGHTING SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
  15. ON-SITE SAFETY AND REGULATORY SIGNAGE (AS DEEMED NECESSARY BY THE POLICE DEPARTMENT) SHALL BE INSTALLED AT THE EXPENSE OF THE DEVELOPER. THE DEVELOPER SHALL MEET WITH THE POLICE DEPARTMENT TO REVIEW SIGNAGE NEEDS.
  16. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL ALL SITE WORK IS COMPLETED, OR WHEN SPECIFICALLY APPROVED BY THE PLANNING AND ZONING COMMISSION. A TEMPORARY C.O. MAY BE ISSUED UPON THE POSTING OF A BOND.
  17. ADDITIONAL BENCHMARKS TO BE SET AT TIME OF STAKOUT.
  18. INTERMITTENT BARRIERS (SEE DETAIL) SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION, IF REQUIRED BY THE TOWN ENGINEER.

- WATER SERVICE NOTES:**
1. PROVIDE 1" TAP AT THE PROPOSED WATER MAIN FOR EACH HOME.
  2. PROVIDE 1" TYPE K COPPER WATER SERVICE FROM MAIN TO CURB STOP FOR EACH HOME.
  3. PROVIDE CURB STOP 5 FEET INSIDE PRIVATE ROAD FOR EACH LOT.
  4. AT TIME OF HOUSE CONSTRUCTION, PROVIDE 1" POLYETHYLENE P.E. 3408 TUBING WATER SERVICE FROM CURB STOP TO HOUSE FOR EACH HOME.
  5. IF WALK, DRIVEWAY OR PORCH IS BUILT OVER WATER SERVICE, PROVIDE 3" PVC SLEEVE

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REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

|             |                             |        |
|-------------|-----------------------------|--------|
| REVISION-7: |                             |        |
| REVISION-6: |                             |        |
| REVISION-5: |                             |        |
| REVISION-4: |                             |        |
| REVISION-3: |                             |        |
| REVISION-2: | 7/16/21 REVISED LAYOUT      |        |
| REVISION-1: | 5/14/21 SAN. SEWER CROSSING |        |
| PROJECT:    | 220021-LOVELY CHESHIRE      |        |
| DB: AQ      | SR: ---                     | DR: AQ |
| SEAL:       |                             |        |

Andrew J. Quirk  
CT P.E. #22588

**kratzer, jones & associates, inc.**  
KJA  
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## PLAN & PROFILE

for  
**WHISPERING OAKS DRIVE (PRIVATE)**

648 WALLINGFORD ROAD  
CHESHIRE, CT

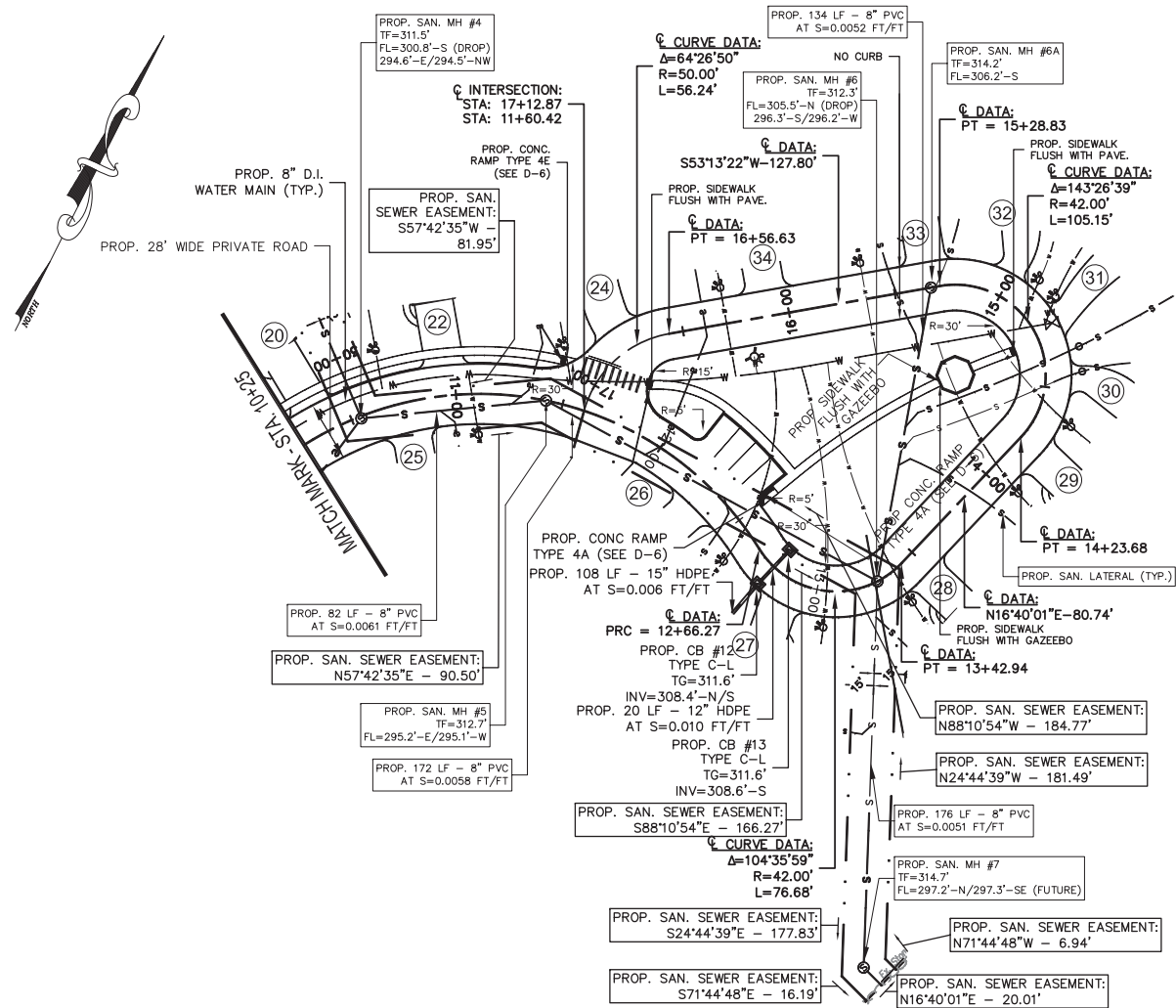
SCALE: 1" = 40'(H)/4'(V)  
DATE: MARCH 24, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

KJA FILE NO.:  
DRAWING NO.:  
**220-021 P-1**

DATE: 3/24/2021  
DRAWN: J.A.Q.  
CHECKED: J.A.Q.  
DATE: 3/24/2021





PLAN & PROFILE NOTES:

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| DR: AQ                                  | SR: --- | DR: AQ |
| SEAL:                                   |         |        |

*Andrew J. Quirk*  
CT P.E. #22588

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PLAN & PROFILE

for  
**WHISPERING OAKS  
DRIVE  
(PRIVATE)**

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'(H)/4'(V)

DATE: MARCH 24, 2021

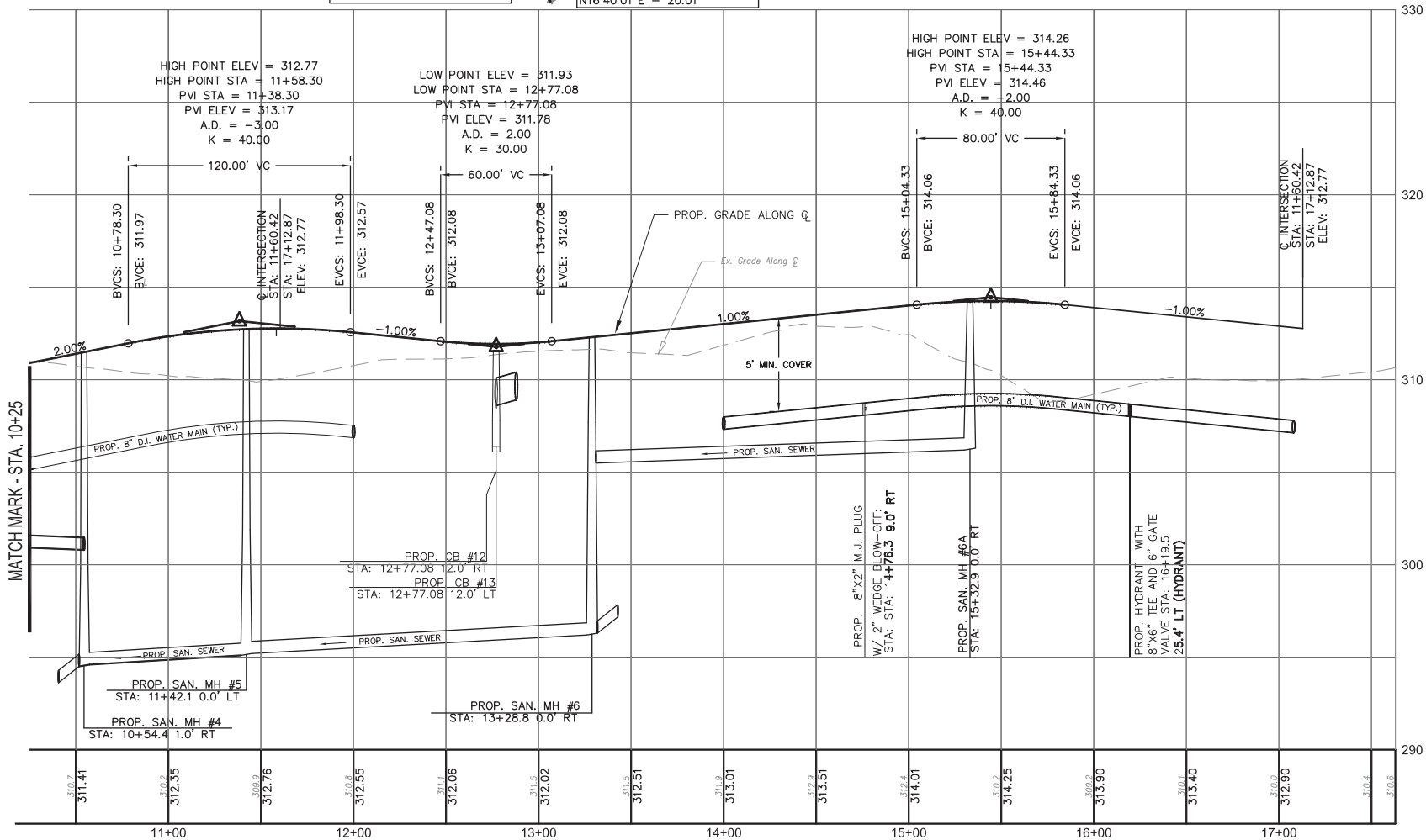
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KJA FILE NO. :

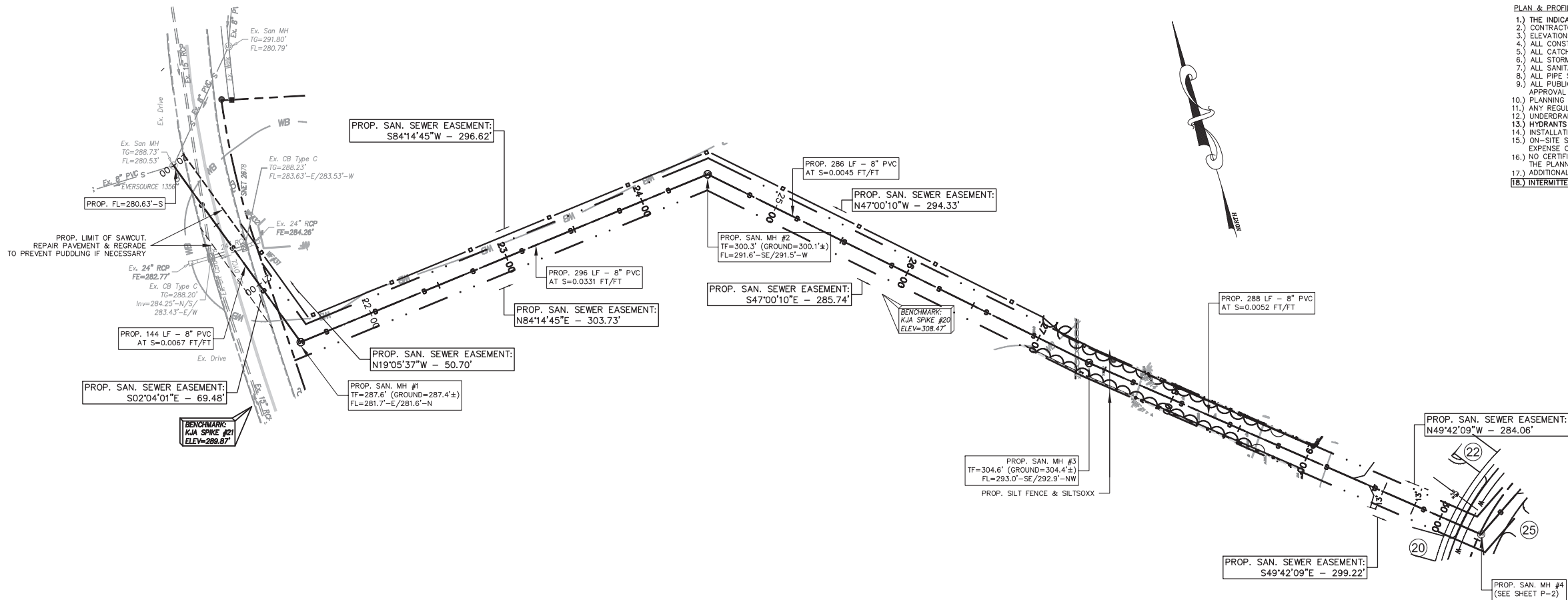
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220-021

P-2







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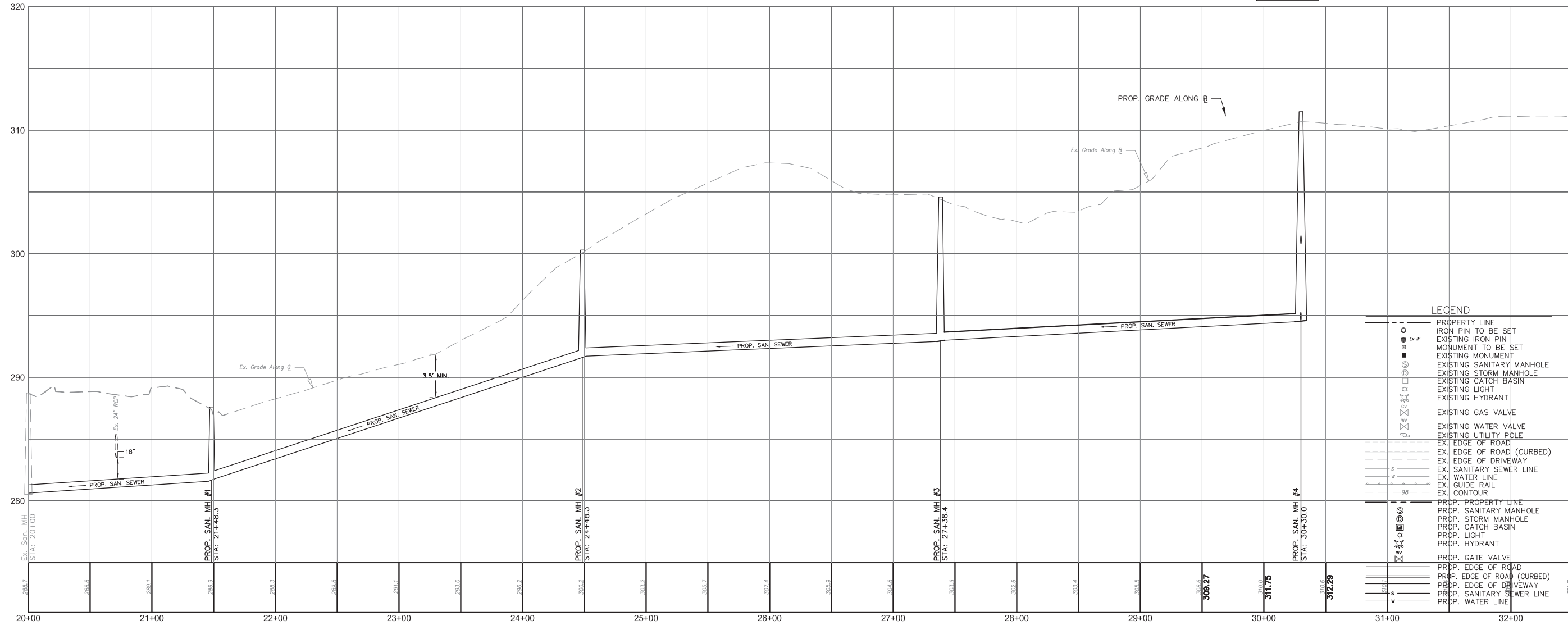
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| PROJECT:    | 220021-LOVELY CHESHIRE      |
| DR: AQ      | SR: --- DR: AQ              |

SEAL:  
  
Andrew J. Quirk  
CT P.E. #22588

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- LEGEND
- PROPERTY LINE
  - IRON PIN TO BE SET
  - EXISTING IRON PIN
  - MONUMENT TO BE SET
  - EXISTING MONUMENT
  - EXISTING SANITARY MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CATCH BASIN
  - EXISTING LIGHT
  - EXISTING HYDRANT
  - EXISTING GAS VALVE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EX. EDGE OF ROAD
  - EX. EDGE OF ROAD (CURBED)
  - EX. EDGE OF DRIVEWAY
  - EX. SANITARY SEWER LINE
  - EX. WATER LINE
  - EX. GUIDE RAIL
  - EX. CONTOUR
  - PROP. PROPERTY LINE
  - PROP. SANITARY MANHOLE
  - PROP. STORM MANHOLE
  - PROP. CATCH BASIN
  - PROP. LIGHT
  - PROP. HYDRANT
  - PROP. GATE VALVE
  - PROP. EDGE OF ROAD
  - PROP. EDGE OF ROAD (CURBED)
  - PROP. EDGE OF DRIVEWAY
  - PROP. SANITARY SEWER LINE
  - PROP. WATER LINE

PLAN & PROFILE

for

**SANITARY SEWER MAIN**

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 40'(H)/4'(V)  
DATE: MARCH 24, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

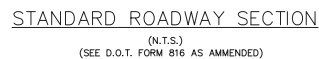
KJA FILE NO.: 220-021  
DRAWING NO.: P-3





\*ALL CATCH BASINS SHALL BE TO D.O.T. STANDARD PER FORM 816 (AS AMENDED). NO UNNECESSARY KNOCKOUTS WILL BE ALLOWED.

REINFORCED CONCRETE FLARED END DETAIL  
N.T.S.




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|                                 |        |        |
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| REVISION-2:                     |        |        |
| REVISION-1:                     |        |        |
| PROJECT: 220021-LOVLEY CHESHIRE |        |        |
| DB: MPT                         | SR: AQ | DR: AQ |
| SEAL:                           |        |        |

NOT ALL DETAILS ON THIS  
PLAN MAY BE APPLICABLE

  
Andrew J. Quirk  
CT P.E. #22588

kratzert,  KJA  
jones &  
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## SITE DETAILS

for

WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: NOT TO SCALE

DATE: MARCH 24, 2021

|      |          |          |
|------|----------|----------|
| HALF | ONE INCH | TWO INCH |
|------|----------|----------|

INCHES ON ORIGINAL

KJA FILE NO. :

|             |
|-------------|
| DRAWING NO. |
|-------------|

220-021

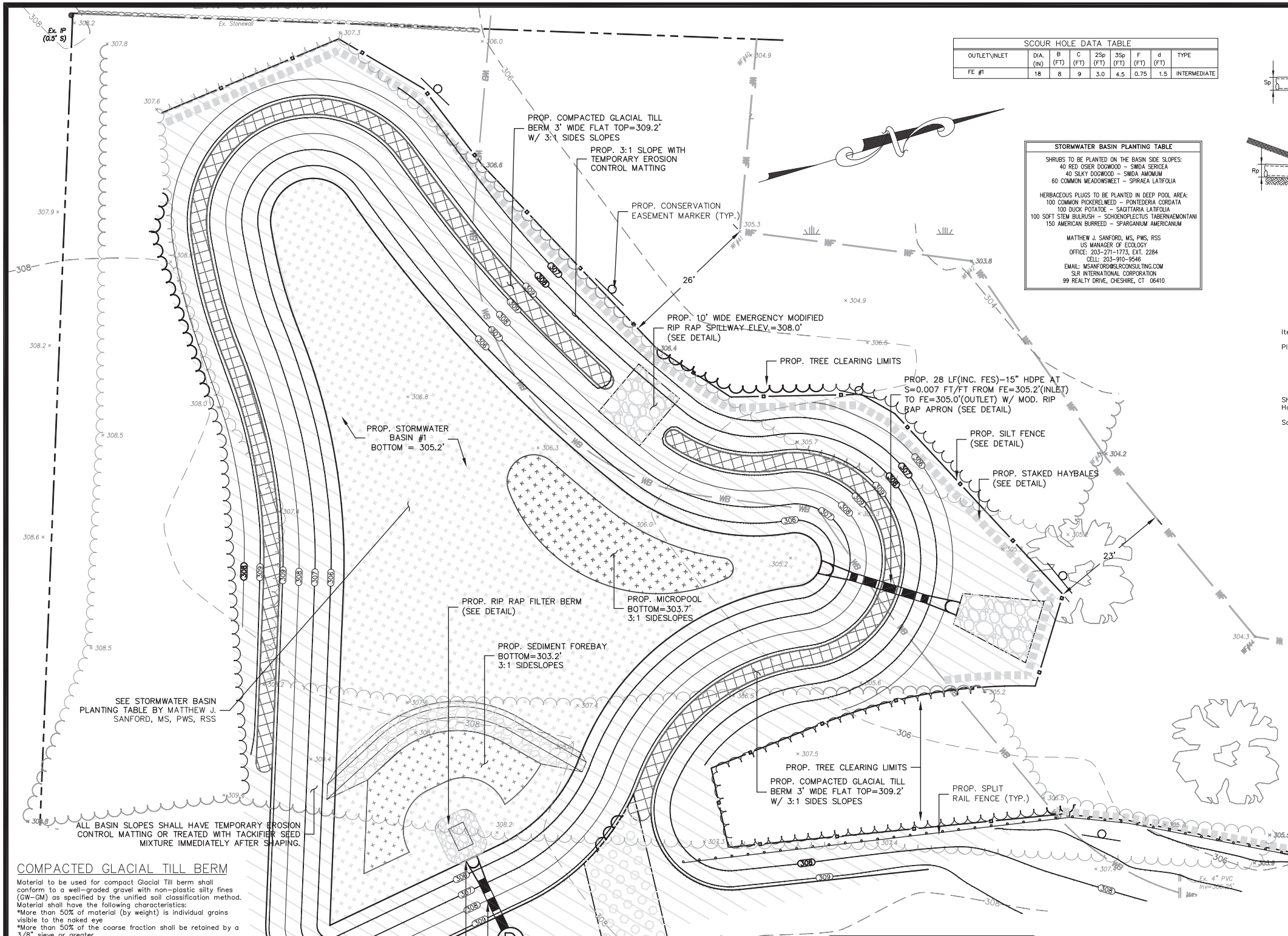
D-1

E:\20\220021-LOWLEY CHESHIRE\dwg\DETAILS.dwg  
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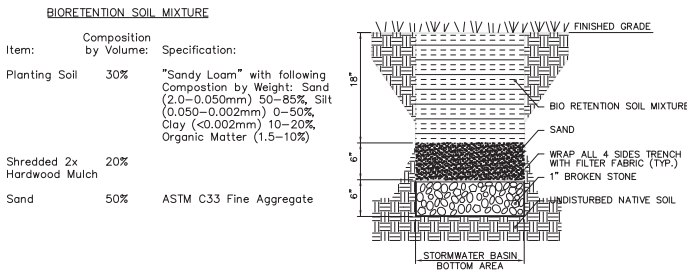
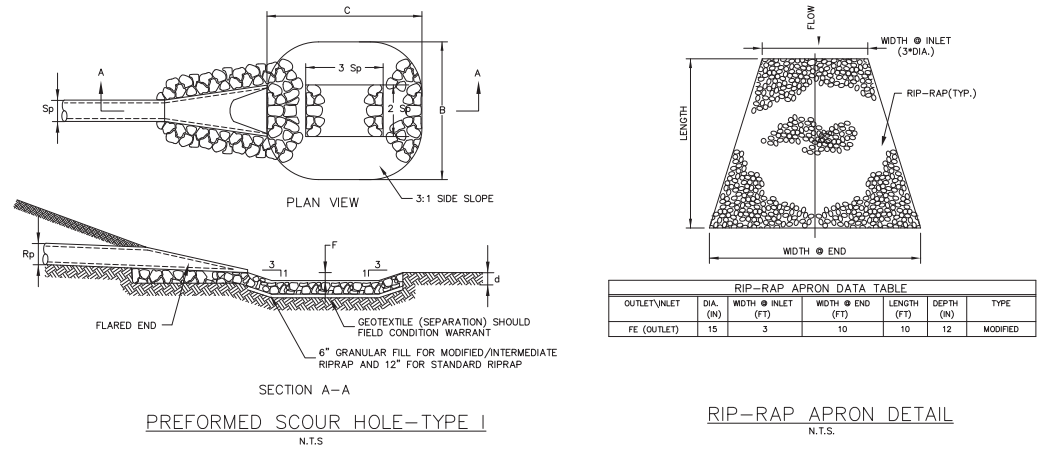






| SCOUR HOLE DATA TABLE |           |        |        |          |          |        |        |
|-----------------------|-----------|--------|--------|----------|----------|--------|--------|
| OUTLET\INLET          | DIA. (IN) | B (FT) | C (FT) | 2Sp (FT) | 3Sp (FT) | F (FT) | d (FT) |
| FE #1                 | 18        | 8      | 9      | 3.0      | 4.5      | 0.75   | 1.5    |
| INTERMEDIATE          |           |        |        |          |          |        |        |

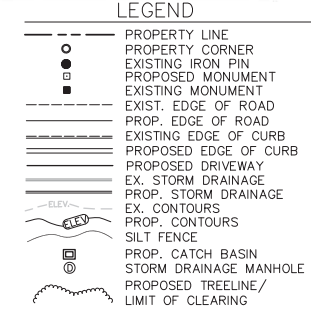
| STORMWATER BASIN PLANTING TABLE                       |  |  |  |  |  |  |  |
|---|--|--|--|--|--|--|--|
| SHRUBS TO BE PLANTED ON THE BASIN SIDE SLOPES:        |  |  |  |  |  |  |  |
| 40 RED OSIER DOGWOOD - SWIDA SERICEA                  |  |  |  |  |  |  |  |
| 40 SILKY DOGWOOD - SWIDA AMOMIUM                      |  |  |  |  |  |  |  |
| 60 COMMON MEADOWSWEET - SPIRAEA LATIFOLIA             |  |  |  |  |  |  |  |
| HERBACEOUS PLUGS TO BE PLANTED IN DEEP POOL AREA:     |  |  |  |  |  |  |  |
| 100 COMMON PICKERELWEED - PONTEDERIA CORDATA          |  |  |  |  |  |  |  |
| 100 DUCK POTATOE - SAGITTARIA LATIFOLIA               |  |  |  |  |  |  |  |
| 100 SOFT STEM BULRUSH - SCHONOPLECTUS TABERNAEMONTANI |  |  |  |  |  |  |  |
| 150 AMERICAN BURREED - SPARGANIUM AMERICANUM          |  |  |  |  |  |  |  |
| MATTHEW J. SANFORD, MS, PWS, RSS                      |  |  |  |  |  |  |  |
| US MANAGER OF ECOLOGY                                 |  |  |  |  |  |  |  |
| OFFICE: 203-271-1773, EXT. 2284                       |  |  |  |  |  |  |  |
| CELL: 203-910-9546                                    |  |  |  |  |  |  |  |
| EMAIL: MSANFORD@KJASOCIATES.COM                       |  |  |  |  |  |  |  |
| SLR INTERNATIONAL CORPORATION                         |  |  |  |  |  |  |  |
| 99 REALTY DRIVE, CHESHIRE, CT 06410                   |  |  |  |  |  |  |  |



| COMMON NAME        | BOTANICAL NAME    | QUANTITY | Notes     |
|--------------------|-------------------|----------|-----------|
| RED OSIER DOGWOOD  | SWIDA SERICEA     | 40       | 72\" O.C. |
| SILKY DOGWOOD      | SWIDA AMOMIUM     | 40       | 72\" O.C. |
| COMMON MEADOWSWEET | SPIRAEA LATIFOLIA | 60       | 72\" O.C. |

| COMMON NAME         | BOTANICAL NAME                | QUANTITY | Notes     |
|---------------------|-------------------------------|----------|-----------|
| COMMON PICKERELWEED | PONTEDERIA CORDATA            | 100      | 36\" O.C. |
| DUCK POTATO         | SAGITTARIA LATIFOLIA          | 100      | 36\" O.C. |
| SOFT STEM BULRUSH   | SCHONOPLECTUS TABERNAEMONTANI | 100      | 36\" O.C. |
| AMERICAN BURREED    | SPARGANIUM AMERICANUM         | 150      | 36\" O.C. |

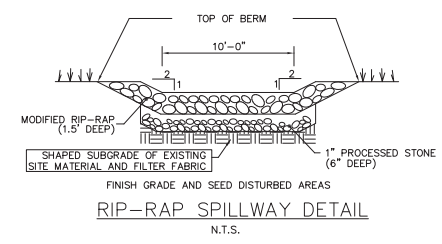
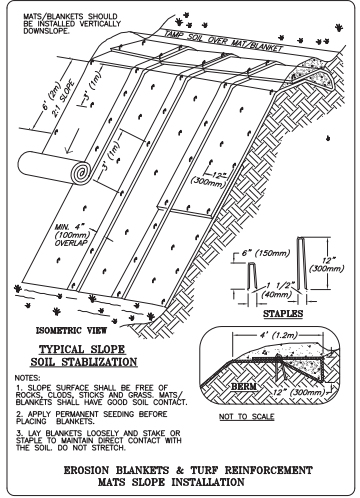
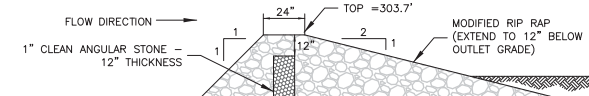
| SEEDING                              |  |                                      |                |
|--------------------------------------|--|--------------------------------------|----------------|
| BASIN SLOPES                         |  |                                      |                |
| TYPE                                 | SPECIES  | APPLICATION RATE (1 LB. PER 1750 SF) | QUANTITY (LBS) |
| NEW ENGLAND CONSERVATION/WLDLIFE MIX | Virginia Wild Rice (Eleusine virginica), Little Bluestem (Schizachyrium scoparium), Big Bluestem (Andropogon gerardii), Red Fescue (Festuca rubra), Switch Grass (Panicum virgatum), Partridge Pea (Chamaecrista fasciculata), Partridge Pea (Chamaecrista fasciculata), Indigo Grass (Baptisia australis), Blue Vervain (Verbena hastata), Butterfly Milkweed (Asclepias tuberosa), Black-eyed Susan (Rudbeckia hirta), Common Sunflower (Helianthus annuus), Heath Aster (Aster multiflorus), Early Goldenrod (Solidago serotina), Lupine (Lupinus albus)                      | 1                                    | 3              |
| STORMWATER BASIN                     |  |                                      |                |
| TYPE                                 | SPECIES  | RATE (1 LB. PER 2500 SF)             | QUANTITY (LBS) |
| NEW ENGLAND WETMIX                   | Low Sedge (Carex vulpinoidea), Lizard Sedge (Carex lasiocarpa), Short Brown Sedge (Carex scoparia), Blue Vervain (Verbena hastata), Four-winged (Rhus typhina), Hop Sedge (Carex lasiocarpa), Green Bulrush (Scirpus americanus), Creeping Spoke Rush (Eleocharis palustris), Irising Sedge (Carex oerelia), Soft Rush (Juncus effusus), Spotted Joe-Pye Weed (Eupatorium maculatum), Partridge Grass (Glycerhiza aspera), Swamp aster (Aster multiflorus), Bulrush (Eleocharis palustris), Swamp Milkweed (Asclepias incarnata), Square-stemmed Monkey Flower (Mimulus ringens) | 1                                    | 7              |



**COMPACTED GLACIAL TILL BERM**  
Material to be used for compact Glacial Till berm shall conform to a well-graded gravel with non-plastic silty fines (GW-GM) as specified by the unified soil classification method. Material shall have the following characteristics:  
\*More than 50% of material (by weight) is individual grains visible to the naked eye  
\*More than 50% of the coarse fraction shall be retained by a 3/8" sieve or greater  
\*There shall be substantial amounts of all grain particle sizes  
\*Between 12% and 25% of fines passing #100 sieve  
\*The gravel shall be "Dirty" and leave a stain on a wet palm

| MAINTENANCE SCHEDULE FOR STORMWATER BASINS  |   |
|---|---|
| ACTIVITY  | SCHEDULE  |
| INSPECT WETLAND COMPONENTS FOR INVASIVE VEGETATION  | SEMI-ANNUALLY   |
| INSPECT FOR DAMAGE  | ANNUALLY  |
| NOTE SIGNS OF HYDROCARBON BUILD-UP, AND REMOVE IF DETECTED  | ANNUALLY  |
| MONITOR FOR SEDIMENT ACCUMULATION IN THE FACILITY AND FOREBAY   | ANNUALLY  |
| EXAMINE TO ENSURE THAT INLET AND OUTLET DEVICES ARE FREE OF DEBRIS AND OPERATIONAL  | ANNUALLY  |
| REPAIR UNDERCUT OR ERODED AREAS   | AS-NEEDED   |
| CLEAN AND REMOVE DEBRIS FROM INLET AND OUTLET STRUCTURES  | MONTHLY   |
| MOW SIDE SLOPES. HIGH GRASS ALONG POND EDGE WILL DISCOURAGE WATERFOWL FROM TAKING UP RESIDENCE AND SERVE TO FILTER POLLUTANTS | MONTHLY   |
| WETLAND PLANT MANAGEMENT AND HARVESTING   | ANNUALLY (IF NEEDED)  |
| DRAIN POND IN FALL AND LET FROST KILL PLANTS, THEN DREDGE IN SPRING   | ANNUALLY (IF NEEDED)  |
| REMOVAL OF SEDIMENT FROM FOREBAY  | 5-YEAR MAINTENANCE  |
| REMOVE SEDIMENT WHEN THE POOL VOLUME HAS BEEN REDUCED SIGNIFICANTLY, OR WHEN SIGNIFICANT ALGAL GROWTH IS OBSERVED             | 10-YEAR MAINTENANCE (MORE FREQUENT DREDGING IN DEVELOPING WATERSHEDS WITH SIGNIFICANT SEDIMENT LOADS) |

**STORMWATER BASIN #1**  
PLAN SCALE 1"=10'



**Utilities Disclaimer:**  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

**REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.**

REVISION-7:  
REVISION-6:  
REVISION-5:  
REVISION-4:  
REVISION-3:  
REVISION-2: 7/16/21 REVISED LAYOUT  
REVISION-1: 5/14/21 BASIN PLANTINGS  
PROJECT: 220021-LOVELY CHESHIRE  
DB: MPT SR: AQ DR: AQ  
SEAL:

Andrew J. Quirk  
CT P.E. #22588

**Kratzert, Jones & Associates, Inc.**  
CIVIL ENGINEERS • LAND SURVEYORS  
SITE PLANNERS • BUILDING ENGINEERS  
P.O. BOX 337  
1755 MERIDEN-WATERBURY RD.  
MILDALE, CT 06467-0337  
PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

**STORMWATER BASIN DETAIL SHEET**

for  
**WHISPERING OAKS**

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1"= 10'  
DATE: MARCH 24, 2021

KJA FILE NO.: 220-021  
DRAWING NO.: D-3



Top Curb CCB  
=310.62

Ex. Drive

Ex. Drive

WALLINGFORD ROAD

Ex. Water Main

SNET414

BENCHMARK:  
Mag Nail  
ELEV=314.81

Ex. Bit Curb

Ex. DYCL

SBC415

Utilities Disclaimer:  
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown are in the exact location indicated although he does declare that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

- LEGEND
- PROPERTY LINE
  - PROPERTY CORNER
  - EXISTING IRON PIN
  - PROPOSED MONUMENT
  - EXISTING MONUMENT
  - EXIST. EDGE OF ROAD
  - PROP. EDGE OF ROAD
  - EXISTING EDGE OF CURB
  - PROPOSED EDGE OF CURB
  - PROPOSED DRIVEWAY
  - EX. STORM DRAINAGE
  - PROP. STORM DRAINAGE
  - EX. CONTOURS
  - PROP. CONTOURS
  - SILT FENCE
  - PROP. CATCH BASIN
  - STORM DRAINAGE MANHOLE
  - PROPOSED TREELINE/ LIMIT OF CLEARING

REVISION-7:  
REVISION-6:  
REVISION-5:  
REVISION-4:  
REVISION-3:  
REVISION-2: 7/16/21 REVISED LAYOUT  
REVISION-1: 5/14/21 BASIN PLANTINGS  
PROJECT: 220021-LOVLEY CHESHIRE  
DB: MPT SR: AQ DR: AQ  
SEAL:

Andrew J. Quirk  
CT P.E. #22588

kratzer, jones & associates, inc.

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PHONE: (860) 621-3638  
FAX: (860) 621-9609  
EMAIL: INFO@KRATZERTJONES.COM

INTERSECTION  
GRADING PLAN

for

WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 10'

DATE: MARCH 24, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

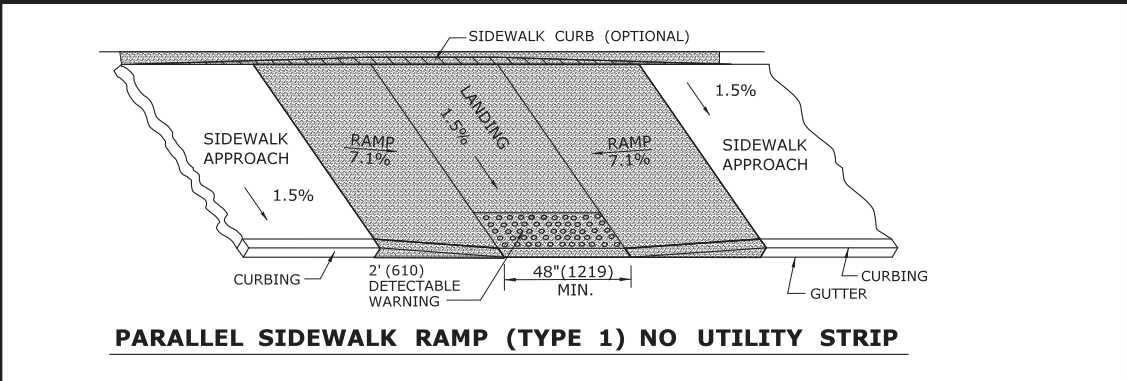
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220-021

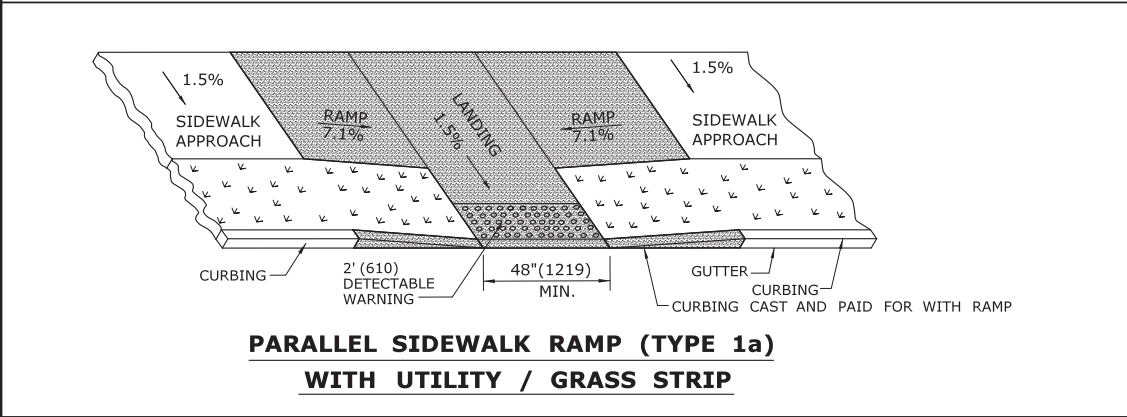
DRAWING NO.:

D-4

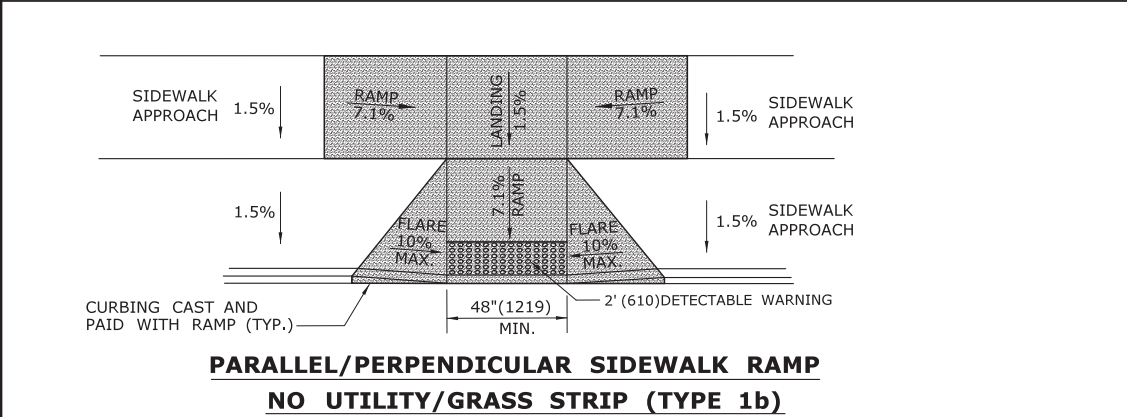




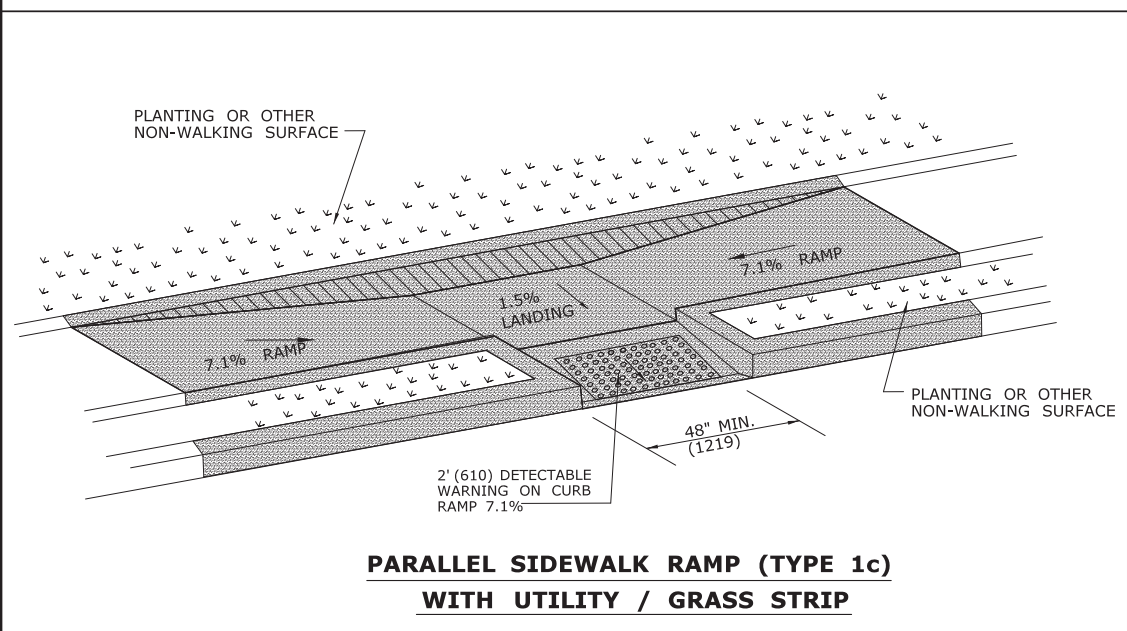
**PARALLEL SIDEWALK RAMP (TYPE 1) NO UTILITY STRIP**



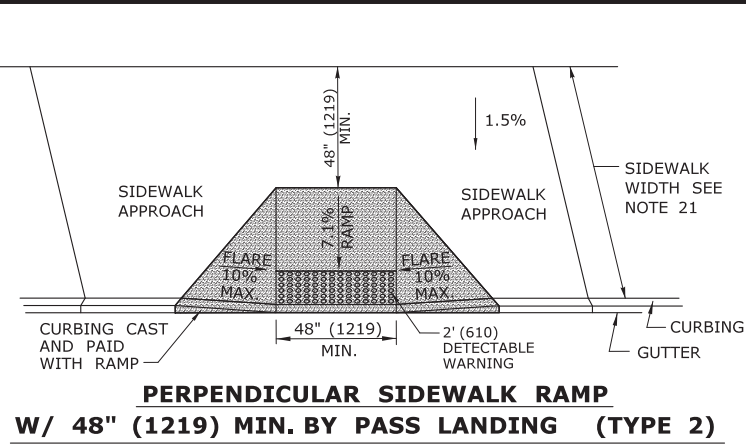
**PARALLEL SIDEWALK RAMP (TYPE 1a)  
WITH UTILITY / GRASS STRIP**



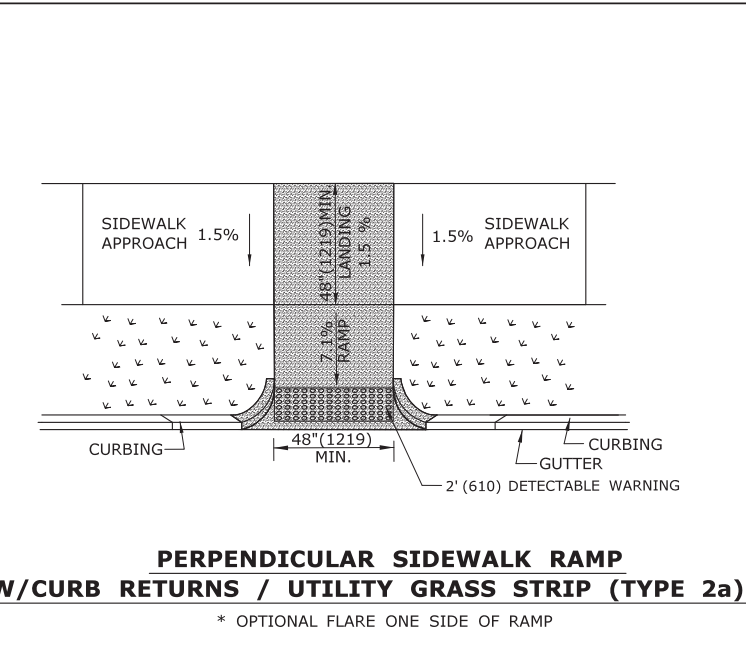
**PARALLEL/PERPENDICULAR SIDEWALK RAMP  
NO UTILITY/GRASS STRIP (TYPE 1b)**



**PARALLEL SIDEWALK RAMP (TYPE 1c)  
WITH UTILITY / GRASS STRIP**

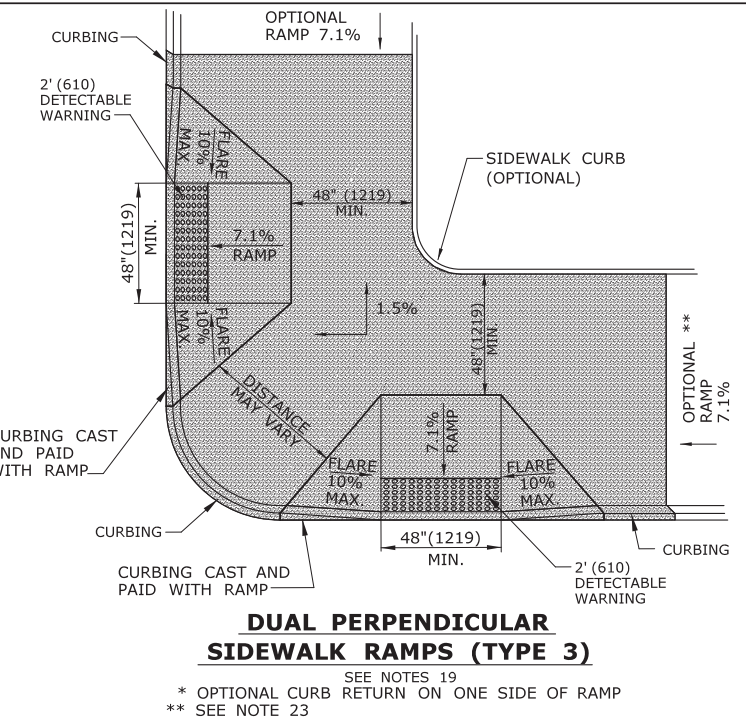


**PERPENDICULAR SIDEWALK RAMP  
W/ 48\" (1219) MIN. BY PASS LANDING (TYPE 2)**



**PERPENDICULAR SIDEWALK RAMP  
W/CURB RETURNS / UTILITY GRASS STRIP (TYPE 2a)**

\* OPTIONAL FLARE ONE SIDE OF RAMP

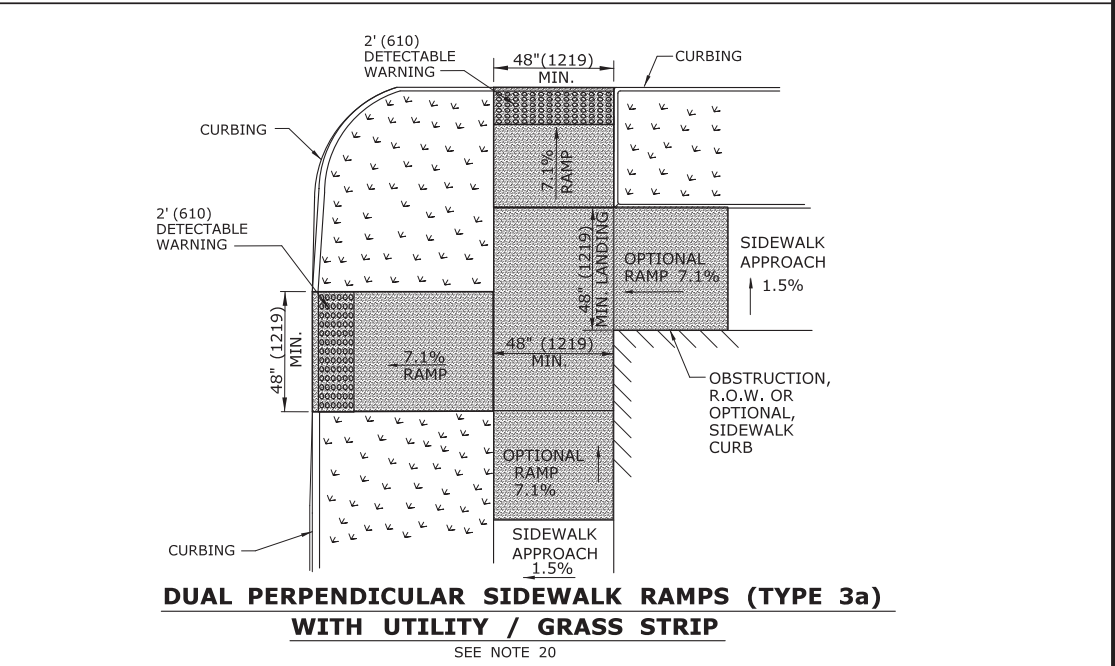


**DUAL PERPENDICULAR  
SIDEWALK RAMPS (TYPE 3)**

SEE NOTES 19  
\* OPTIONAL CURB RETURN ON ONE SIDE OF RAMP  
\*\* SEE NOTE 23

**GENERAL NOTES:**

1. MAXIMUM SLOPES OF ADJOINING GUTTERS AND ROAD SURFACES IMMEDIATELY ADJACENT TO THE SIDEWALK RAMP SHOULD NOT EXCEED 5%. THE MAXIMUM GRADE DIFFERENCE BETWEEN THE GUTTER AND CURB RAMP SHALL NOT EXCEED 13%. SEE DETAIL 1 ON SHEET 4.
2. RAMP GRADE SHALL BE UNIFORM, FREE OF SAGS AND ABRUPT GRADE CHANGES. RUNNING SLOPES OF RAMPS SHALL NOT EXCEED 8.33% AND SHALL NOT EXCEED 15' (4.5m) WITHOUT PROVIDING A LANDING.
3. ALL RAMPS SHALL BE CONSTRUCTED OF CLASS "F" CONCRETE IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS.
4. SIDEWALK RAMPS SHALL HAVE A COARSE BROOM FINISH TRANSVERSE TO THE SLOPE OF THE RAMP. THE SURFACE OF ALL SIDEWALK RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. SURFACE DISCONTINUITIES SHALL NOT EXCEED 1/2" (13) MAX. VERTICAL DISCONTINUITIES BETWEEN 1/4" (6.4) AND 1/2" (13) MAX. SHALL BE BEVELED 1:2 MINIMUM APPLIED ACROSS THE ENTIRE LEVEL CHANGE.
5. DIAGONAL SIDEWALK RAMPS AT MARKED CROSSINGS SHALL BE WHOLLY CONTAINED WITHIN THE MARKINGS, EXCLUDING ANY FLARED SIDES. DIAGONAL AND PERPENDICULAR RAMPS SHALL HAVE THE RAMP CUT PERPENDICULAR TO THE TANGENT OF THE CURB RADIUS FOR THE DESIGNATED ACCESSIBLE ROUTE. BOTH LONGITUDINAL SIDES OF THE RAMP SHOULD BE THE SAME LENGTH. SKEWED RAMPS SHOULD BE AVOIDED. FLARES ARE NOT CONSIDERED PART OF PEDESTRIAN ACCESS ROUTE. DIAGONAL RAMPS SHOULD NOT BE INSTALLED WHERE CURB RADII IS LESS THAN 20'(6096).
6. REMOVAL OF EXISTING SIDEWALK FOR NEW RAMP INSTALLATIONS SHALL BE TO THE NEAREST EXPANSION OR CONTRACTION JOINT. 8.3% MAXIMUM SLOPE MAY NOT BE ACHIEVABLE DUE TO EXISTING SIDEWALK GRADE. IN RECOGNITION OF THIS, A LIMIT OF 15' (4572) FOR REMOVAL SHALL BE USED UNLESS OTHERWISE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. SAW CUT REQUIRED FOR DUMMY JOINTS SHALL BE INCLUDED IN THE COST OF "CONCRETE SIDEWALK RAMP" OR "CONCRETE SIDEWALK".
7. EXPANSION JOINTS IN CONCRETE SHALL MATCH THOSE IN ADJACENT SIDEWALKS BUT IN NO CASE SHALL THE SPACING BETWEEN EXPANSION JOINTS EXCEED 12' (3658) UNLESS OTHERWISE NOTED.
8. CONCRETE SIDEWALK RAMPS, SHALL BE PAID FOR UNDER THE ITEM "CONCRETE SIDEWALK RAMP", AS DEFINED BY THE CONSTRUCTION LIMITS ON THE PLANS AND SHALL BE FIELD VERIFIED.
9. SIDEWALK RAMPS SHALL BE CONSTRUCTED WITH THE TOE AT THE GUTTER CAST INTEGRALLY WITH RAMP UNLESS DIRECTED OTHERWISE BY THE ENGINEER (SEE TYPICAL SECTION ON SHEET 3). CURB REMOVAL AND CAST IN PLACE CURBING REQUIRED FOR THE RAMP, SHALL BE INCLUDED WITH PAY ITEM "CONCRETE SIDEWALK RAMP". CURBING OUTSIDE LIMITS OF RAMP OR LANDING SHOWN ON SHEET 3 SHALL BE CONSTRUCTED AND PAID FOR IN ACCORDANCE WITH CONNECTICUT STANDARD SPECIFICATIONS.
10. PREFERRED LOCATION TO INSTALL DETECTABLE WARNING STRIP SHALL BE 6" (152) FROM THE EDGE OF ROAD ALONG THE FULL WIDTH OF THE RAMP. FOR ALTERNATE LOCATIONS, REFER TO DETECTABLE WARNING PLACEMENT DETAILS ON SHEET 4.
11. TO PERMIT WHEELCHAIR WHEELS TO ROLL BETWEEN DOMES, ALIGN DOMES ON A SQUARE GRID IN THE DIRECTION OF RUNNING SLOPE (PERPENDICULAR TO CURB OR SLOPE BREAK). THE TRANSITION FROM RAMP TO GUTTER SHALL BE FLUSH WITHOUT A LIP.
12. WHERE COMMERCIAL DRIVEWAYS ARE PROVIDED WITH TRAFFIC SIGNALS AND THE SIDEWALK IS CONTINUOUS THROUGH DRIVEWAY, DETECTABLE WARNINGS ARE REQUIRED AT THE JUNCTION BETWEEN THE PEDESTRIAN ROUTE AND DRIVEWAY.
13. CONSTRUCT A SIDEWALK CURB WHEN THERE IS INSUFFICIENT BUFFER AVAILABLE TO GRADE OR WHEN CALLED FOR IN PLANS. PAID FOR WITH SIDEWALK RAMP WHEN REQUIRED FOR RAMP.
14. THE TOP AND BOTTOM OF RAMPS SHOULD BE PROVIDED WITH A 4'x 4' (1219 x 1219) MINIMUM LEVEL LANDING AREA WITH A CROSS SLOPE LESS THAN OR EQUAL TO 2% IN ANY DIRECTION.
15. UTILITY POLES, LUMINAIRE, PEDESTRIAN OR SIGNAL POLES, GRATES, ACCESS COVERS, AND OTHER APPURTENANCES SHALL NOT BE LOCATED ON RAMPS, LANDINGS, BLENDED TRANSITIONS, AND @ GUTTERS WITHIN THE PEDESTRIAN ACCESS ROUTE.
16. APPROACH SIDEWALK WIDTHS, GRASS STRIP OR UTILITY STRIP WIDTHS MAY VARY.
17. APPROACH SIDEWALK AND LANDING CROSS SLOPE SHALL NOT EXCEED 2%.
18. THE RUNNING OR CROSS SLOPES ON LANDINGS AT MID BLOCK CROSSING MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
19. FOR PERPENDICULAR CURB RAMPS A MIN. 4'(1.2m) x 4'(1.2m) LEVEL LANDING SHALL BE PROVIDED AT THE TOP OF CURB RAMP. WHERE THE LEVEL LANDING IS RESTRICTED AT THE BACK OF SIDEWALK THE LEVEL LANDING SHALL BE 4'(1.2m) x 5'(1.5m) WITH THE 5'(1.5m) DIMENSION PROVIDED IN THE DIRECTION OF THE RAMP RUN.
20. FOR PARALLEL CURB RAMPS, A MIN. 4'(1.2m) x 4'(1.2m) LEVEL LANDING SHALL BE PROVIDED AT THE BOTTOM OF CURB RAMP. IF THE LEVEL LANDING IS RESTRICTED ON 2 OR MORE SIDES, THE LEVEL LANDING SHALL BE 4'(1.2m) x 5'(1.5m) WITH THE 5' (1.5m) DIMENSION PROVIDED IN THE DIRECTION OF THE PEDESTRIAN STREET CROSSING.
21. WHEN WIDTH OF SIDEWALK IS ≥48" AND A PERPENDICULAR SIDEWALK RAMP IS INSTALLED, THE FLARED SIDES SHALL BE 10% MAX. IF WIDTH OF SIDEWALK IS <48" THE FLARED SIDES MUST NOT EXCEED 8.33% (12:1).
22. SHADED AREAS ARE TYPICAL PAY LIMITS FOR CONCRETE SIDEWALK RAMP BUT, MAY VARY AS DIRECTED BY THE ENGINEER.
23. OPTIONAL RAMP, WHEN REQUIRED, SHALL BE PAID FOR AS PART OF CONCRETE SIDEWALK RAMP.



**DUAL PERPENDICULAR SIDEWALK RAMPS (TYPE 3a)  
WITH UTILITY / GRASS STRIP**

SEE NOTE 20

ALL METRIC DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED.

|      |      |                               |           |   |
|------|------|-------------------------------|-----------|---|
| -    | -    | -                             | -         | THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED. |
| -    | -    | -                             | -         |   |
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| 1    | 7/13 | Created new sheets (4 total). | -         |   |
| REV. | DATE | REVISION DESCRIPTION          | SHEET NO. | Plotted Date: 6/17/2014   |

DESIGNER/DRAFTER:  
**MGB/EMK**  
CHECKED BY:  
**LLF**

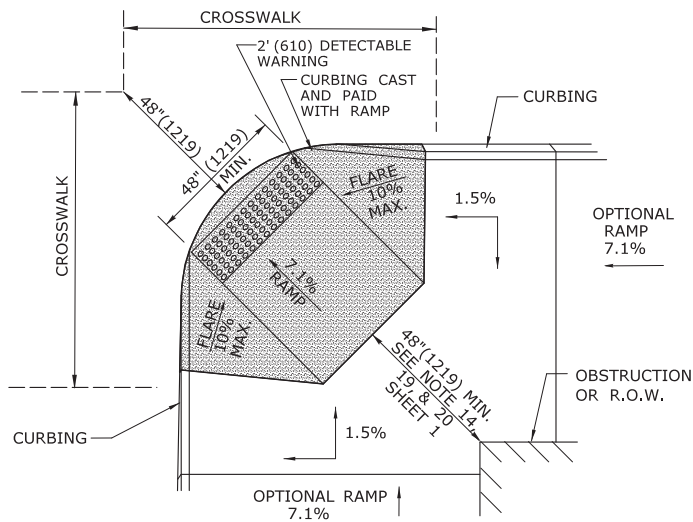


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BLOCK:  
**OFFICE OF ENGINEERING**  
APPROVED BY:

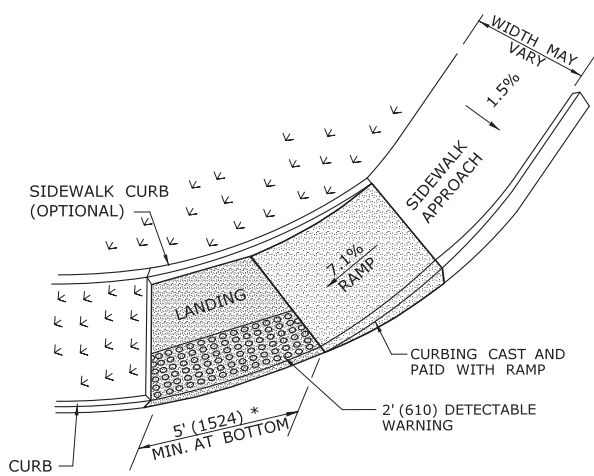
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DRAWING TITLE:  
**SIDEWALK RAMPS  
SHEET 1**

TOWN:  
  
PROJECT NO.  
**220-021**  
DRAWING NO.  
  
SHEET NO.  
**D-5**

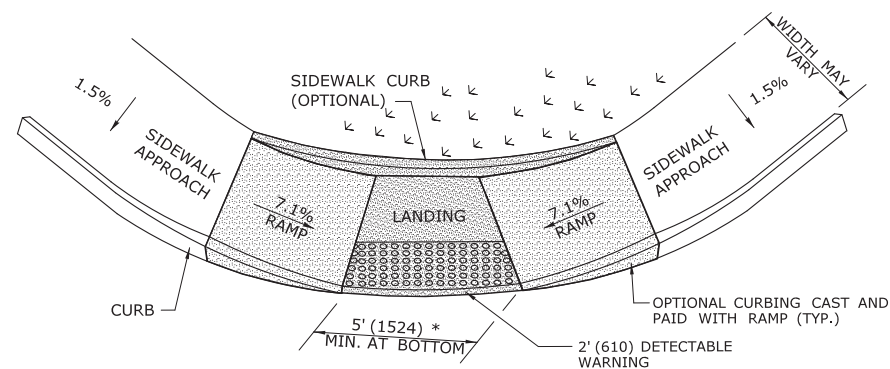




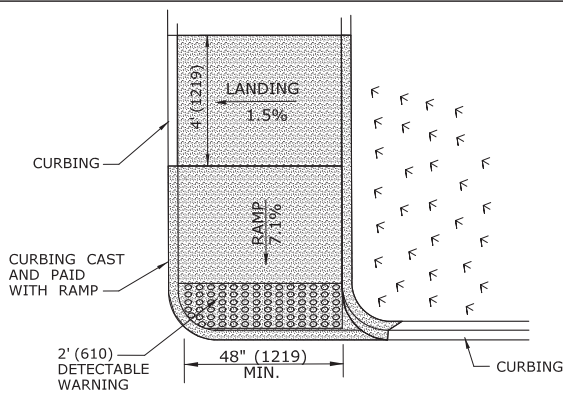
**DIAGONAL SIDEWALK RAMP (TYPE 4)  
W/LANDING AT TOP**



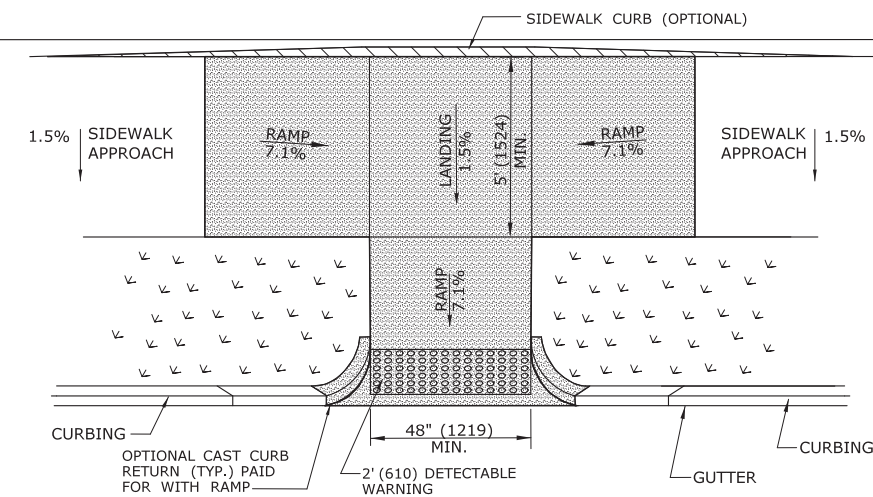
**SINGLE PARALLEL SIDEWALK RAMP  
W/LANDING AT BOTTOM ON  
CORNER (TYPE 4c)**  
\* SEE NOTE 20 SHEET 1



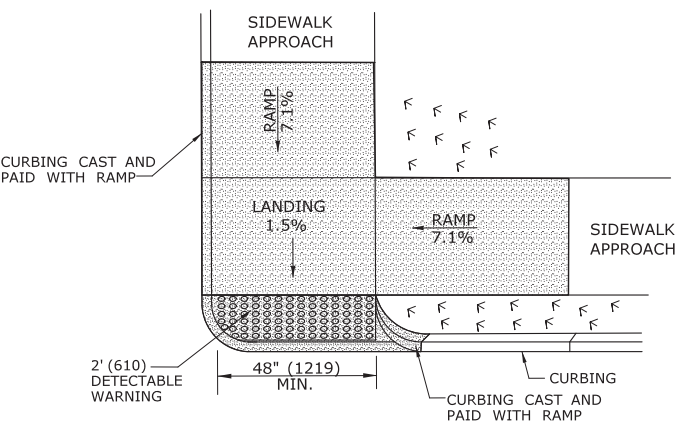
**DOUBLE PARALLEL SIDEWALK RAMP  
W/LANDING AT BOTTOM ON CORNER (TYPE 4f)**  
\* SEE NOTE 20 SHEET 1



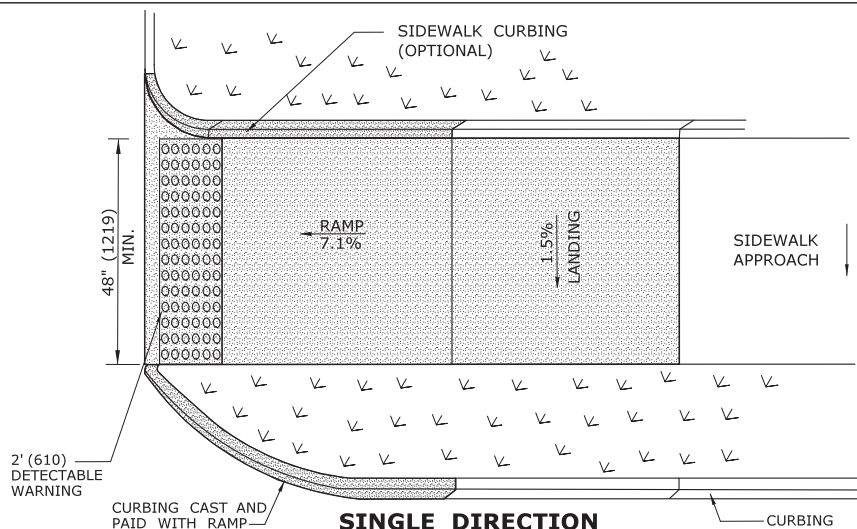
**SINGLE DIRECTION  
PERPENDICULAR SIDEWALK RAMP  
NO / UTILITY GRASS STRIP  
(TYPE 4a)**



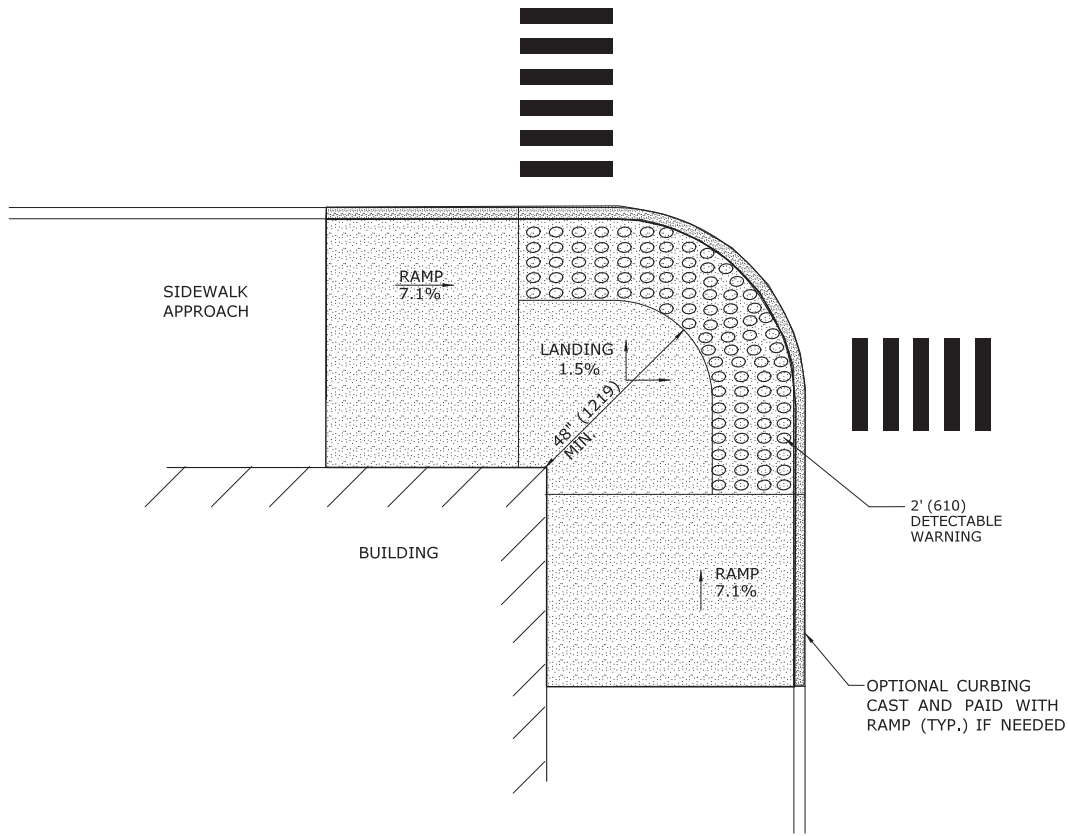
**PARALLEL/PERPENDICULAR SIDEWALK RAMP  
COMBINATION W/ CURB RETURNS (TYPE 4d)**  
\* OPTIONAL FLARE ONE SIDE



**DOUBLE DIRECTION  
PARALLEL SIDEWALK RAMP  
NO / UTILITY GRASS STRIP  
(TYPE 4b)**  
SEE NOTE 20 SHEET 1



**SINGLE DIRECTION  
PERPENDICULAR SIDEWALK RAMP  
W/ UTILITY GRASS STRIP (TYPE 4e)**  
REFER TO DETECTABLE WARNING PLACEMENT ON SHEET 4





**RESTRICTED CONDITION  
DIAGONAL SIDEWALK RAMP  
(TYPE 4g)**

ALL METRIC DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED

| REV. | DATE | REVISION DESCRIPTION | SHEET NO. | Plotted Date: 5/27/2014 |
|------|------|----------------------|-----------|-------------------------|
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| DESIGNER/DRAFTER:<br><b>MGB/EMK</b> |
| CHECKED BY:<br><b>LLF</b>           |

**STATE OF CONNECTICUT**  
**DEPARTMENT OF TRANSPORTATION**



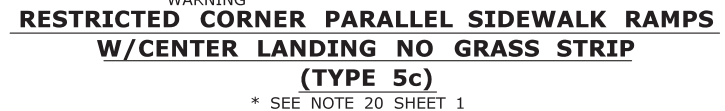
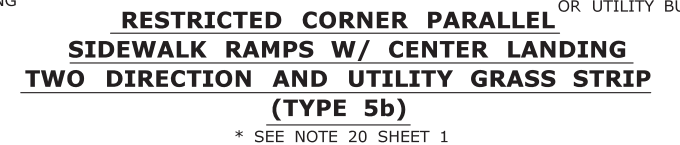
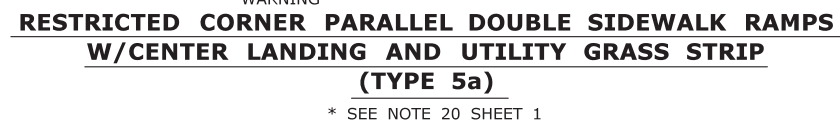
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| APPROVED BY:   |


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| PROJECT TITLE:                                     |
| TOWN:  |
| DRAWING TITLE:<br><b>SIDEWALK RAMP<br/>SHEET 2</b> |

|                               |
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| PROJECT NO.<br><b>220-021</b> |
| DRAWING NO.                   |
| SHEET NO.<br><b>D-6</b>       |





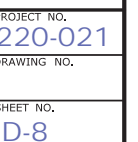
ALL METRIC DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS OTHERWISE NOTED

|      |      |                      |  |   |  |  |  |  |  |  |  |                |  |   |  |   |  |
|------|------|----------------------|--|---|--|--|--|--|--|--|--|----------------|--|---|--|---|--|
|      |      |                      |  | THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED. |  | DESIGNER/DRAFTER:<br><b>MGB/EMK</b><br>CHECKED BY:<br><b>LLF</b> |  |  <b>STATE OF CONNECTICUT</b><br><b>DEPARTMENT OF TRANSPORTATION</b> |  | SIGNATURE/<br>BLOCK:<br><br><b>OFFICE OF ENGINEERING</b><br>APPROVED BY: |  | PROJECT TITLE: |  | TOWN:<br><br>DRAWING TITLE:<br><b>SIDEWALK RAMP</b><br><b>SHEET 3</b> |  | PROJECT NO.<br><b>220-021</b><br>DRAWING NO.<br><br>SHEET NO.<br><b>D-7</b> |  |
| REV. | DATE | REVISION DESCRIPTION |  | SHEET NO.   |  | Plotted Date: 5/27/2014  |  | Filename: ...\\SIDEWALK_RAMP_3_GD.dgn  |  |  |  |                |  |   |  |   |  |





1. RAMPED MEDIANS SHALL HAVE A CURB RAMP AT EITHER END AND LEVEL LANDING A MINIMUM OF 5' x 5' (1.5m x 1.5m) IN BETWEEN. CUT-THROUGH MEDIANS SHALL BE A MINIMUM OF 6' (1.8m) LONG AND 5' (1.5m) WIDE. FOR ALL MEDIANS, CUT-THROUGH OR RAMPED, A 2' (610) STRIP OF DETECTABLE WARNINGS SHALL BE INSTALLED AT THE ENTRANCE AND EXIT.
2. SEE GENERAL NOTES ON SHEET 1.





|               |                           |
|---------------|---------------------------|
| —             | PROPERTY LINE             |
| ○             | IRON PIN TO BE SET        |
| ●             | EXISTING IRON PIN         |
| ● <i>Ex P</i> | MONUMENT TO BE SET        |
| ■             | EXISTING MONUMENT         |
| ⊙             | EXISTING SANITARY MANHOLE |
| ⊕             | EXISTING STORM MANHOLE    |
| ⊗             | EXISTING CATCH BASIN      |
| ☆             | EXISTING LIGHT            |
| ⋈             | EXISTING HYDRANT          |
| ⋈ <i>GV</i>   |                           |
| ⋈             | EXISTING GAS VALVE        |
| ⋈ <i>WV</i>   |                           |
| ⋈             | EXISTING WATER VALVE      |
| ⋈ <i>Q</i>    | EXISTING UTILITY POLE     |
| —             | EX. EDGE OF ROAD          |
| —             | EX. EDGE OF ROAD (CURBED) |
| —             | EX. EDGE OF DRIVEWAY      |
| — <i>S</i>    | EX. SANITARY SEWER LINE   |
| — <i>W</i>    | EX. WATER LINE            |
| — <i>G</i>    | EX. GUIDE RAIL            |
| — <i>98</i>   | EX. CONTOUR               |

CONVENTIONAL  
SUBDIVISION  
OPEN SPACE  
6.1 Ac



NOT TO SCALE:

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN KJA SHALL MAKE THESE PLANS NULL AND VOID. KJA SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.

|             |         |         |
|-------------|---------|---------|
| REVISION-7: |         |         |
| REVISION-6: |         |         |
| REVISION-5: |         |         |
| REVISION-4: |         |         |
| REVISION-3: |         |         |
| REVISION-2: |         |         |
| REVISION-1: |         |         |
| PROJECT:    |         |         |
| DB: ---     | SR: --- | DR: --- |
| SEAL:       |         |         |

  
James N. Sakonchick

**kratzert,  
jones &  
associates, inc.**

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FAX: (860) 621-9609  
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## CONVENTIONAL SUBDIVISION LAYOUT

or

## WHISPERING OAKS

648 WALLINGFORD ROAD  
CHESHIRE, CT

SCALE: 1" = 60'

DATE: MAY 14, 2021

HALF ONE INCH TWO INCH  
INCHES ON ORIGINAL

JA FILE NO. :

DRAWING NO. :

220-021

Z-1

LAYOUT: PRESENTATION DATE: Jul 16, 2021 - 3:33pm